

BA #: B2012072

DEVELOPMENT APPLICATION DECISION NOTICE

Planning Act 2016

Dear Kieran,

The Development Application for the Alterations & Additions to Dwelling, Porch and Roofed Deck (class 1a, 10a) at 137 Erica Street, Cannon Hill (Lot 43 on RP13408) was assessed and **APPROVED** with conditions.

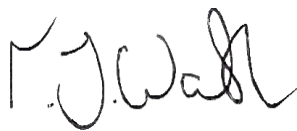
Building Approvals & Advice Pty Ltd was engaged under the *Planning Act 2016* on 16/12/2020

The assessment was made by Mitchell Walsh on 21/12/2020.

Local Government Area: Brisbane City Council.

Referral Agencies for this Building Work		
1.	Siting Variation	N/A
	Build Over Sewer	N/A
	Build Over Storm Water	N/A
2.	Private Certifiers Conditions – see attached conditions schedule.	
3.	Reasons for Refusal – None.	
4.	Approval type – Development Permit for Building Works.	
Further Development Permits		
5.	Development Approval	N/A
6.	Rights of Appeal: In accordance with the <i>Planning Act 2016</i> .	
7.	Private Certifier: Mitchell Walsh Accreditation No. A1234070	

Signature:



Date: 21/12/2020

***Note: this approval will lapse on 21/12/2021.**



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ABN 74 156 140 920

The documentation listed in the table below has been assessed against the relevant and applicable legislation which has allowed the building approval to be issued.

Drawing	IDENTIFICATION NUMBERS
Architect - Blue Planet Design	Job No. 1450 Rev B
Engineer - Walker Engineering	Job No. 04174 Rev C
Soil Test -	N/A
Energy Report - House of Stars	Assessment No. 10002

When approval lapses if development started 21/12/2021.

GENERAL CONDITIONS OF APPROVAL FOR BUILDING WORK RESIDENTIAL

Building Approval Number:	B2012072
Property Address:	137 Erica Street, Cannon Hill QLD 4170
Scope of work:	Alterations & Additions to Dwelling, Porch and Roofed Deck

CURRENCY PERIOD

Structural work approved on this building has to be commenced within six (6) months and finalised within twelve (12) months of the approved date.

ENDORSED PLANS & AMENDMENTS

All Alterations made in RED. Only building works shown on the site plan, are approved in this building application. Amendments to the plans and re-inspections will attract additional fees.

MANDATORY INSPECTIONS REQUIRED AT THE FOLLOWING STAGES:

Inspection	Private Certifier	Competent Person/ RPEQ Engineer
Footing – excavation of foundation material and before footings are laid	☐	☒
Slab – after placement of formwork and steel for slab and before concrete is poured	☐	☐
Frame – before cladding or lining is fixed to the frame	☐	☒
Reinforced masonry construction – before wall cavities are filled	☐	☐
Fire Wall - before work is covered or enclosed	☐	☐
Final - at completion of all aspects of building work	☒	☐
Swimming pool fencing - prior to placing more than 300mm of water into pool	☐	☐
Swimming pool final - at completion of all aspects of building work	☐	☐

IMPORTANT INFORMATION ABOUT FOOTINGS AND BOUNDARY SET-BACKS

Footings must not be poured unless a building certifier has issued a satisfactory inspection report (Form 16), or, If the footing is inspected by a RPEQ, the concrete must not be poured until a building certifier has given stage certificate. It is an offence against the Building Act 1975 to construct footings without a building certifier's stage certificate. Class 10 buildings and structures (carports, sheds, garages etc) are exempt from this requirement. All new structures are to be set out by licensed surveyor.

THE INFORMATION LISTED ON THIS APPROVAL IS DESIGNED TO ASSIST YOU IN ACHIEVING COMPLIANCE WITH THE APPLICABLE DEVELOPMENT LEGISLATION AND IS NOT INTENDED TO BE AN EXTENSIVE LIST OF REQUIREMENTS.

All building work must comply with the Building Act 1975, the Building Regulation 2006, the National Construction Code (NCC) including all NCC referenced Australian Standards, the Local Authority's Planning Scheme, Policies and subordinate legislation. See conditions list for relevant conditions for this building approval.

CERTIFICATES

The certificates of inspection and/or compliance for the aspects of each building stage, signed by an approved competent person are to be submitted to the Building Certifier within 5 working days of the inspection/installation being carried out. The Final Inspection Certificate (Form 21) will not be issued until the required certificates are received

CERTIFICATES REQUIRED TO BE SUBMITTED	NCC AND AUSTRALIAN STANDARDS
At Footing & Slab Stage:	
Footing Inspection Form 16	Form 16 from the RPEQ (Engineer) confirming compliance with AS2870.1; AS3600; NCC Part 3.2
At Frame Stage:	
Truss Form 15	Form 15, layout plan and tie down report from the Manufacturer confirming compliance with AS 1720.5
Frame Inspection Form 16	Form 16 from the RPEQ (Engineer) confirming compliance with AS 1684; NCC Part 3.4
At Final Stage:	
Smoke Alarm Form 16	Form 16 from licenced Electrician confirming the smoke alarms are "hardwired & "interconnected" in accordance with NCC Part 3.7.5, AS3786; Part 3A of QLD Building Regulations 2006
Energy Efficiency Form 16	Form 16 from Builder/Installer confirming compliance with the Energy Report; NCC Part 3.12
Slip Resistance Form 16	Form 16 from the licenced Installer confirming compliance with AS 4586; NCC Part 3.9.1.4
Glazing – Windows & Doors Form 15	Form 15 from licenced Manufacturer/Supplier confirming the windows/doors have been designed in accordance with AS 2047; AS 1288; NCC Part 3.6
Glazing – Shower Screens Form 15/16	Form 15/16 from licenced Manufacturer/Supplier confirming the Shower Screens have been designed and installed in accordance with AS 1288; NCC Part 3.6
Roofing Installation (Including Guttering, Box Gutters, Downpipes) Form 16	Form 16 from the licenced Installer confirming compliance with AS 3500.3; AS 1562.1, NCC Part 3.5.1 (Metal Roofing); AS 2050, NCC Part 3.5.2 (Tiled Roofing); NCC Part 3.5.3 (gutters & downpipes)
Plumbing Form 4 / Council final	QBCC Form 4 from the licenced plumber <i>or</i> Council Final
Waterproofing – Wet Areas Form 16	Form 16 from licenced Installer confirming compliance with AS 3740; NCC Part 3.8.1
Slip Resistance Form 16	Form 16 from the licenced Installer confirming compliance with AS 4586; NCC Part 3.9.1.4
Additional Certification may be required under certain circumstances	

4. FRAMING

4.1. SUB-FLOOR VENTILATION & TIMBER DURABILITY

The sub-floor space beneath the suspended floor of a building must be designed and constructed in accordance with NCC Part 3.4.1.2. The sub-floor space is to be cleared of all building debris and vegetation, be cross-ventilated with evenly spaced ventilation openings and have not less than 400mm clearance between the ground level and underside of the lowest framing member (bearer). Ventilation is to be provided at a rate of not less than 6000mm² per metre length of wall.

Timbers selected for use in subfloor construction must be in accordance with Durability classifications listed within AS1684.

Figure 3.4.3a Subfloor clearance requirements

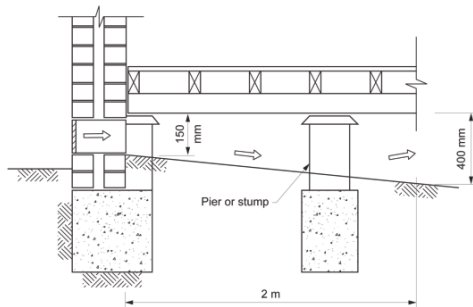
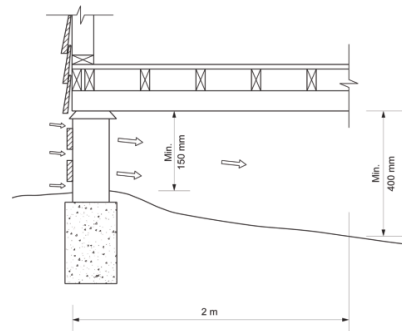


Figure 3.4.3b Subfloor clearance requirements



4.2. PREFABRICATED TRUSS, WALL AND FLOOR (WHERE APPLICABLE)

The prefabricated truss, wall and floor frame installation details including layout plan, fixing bracing details and any other relevant information supplied by the manufacturer must be supplied to the Private Certifier at time of frame inspection. NOTE: If information is not available at time of frame inspection the Private Certifier reserves the right to request an Engineer Certificate for framing and tie-down.

5. ROOF AND WALL CLADDING

5.1. ROOF PROFILE

Roofing colour and reflectiveness to be in accordance with Local Covenants, Local Authority and Local and State aviation requirements. Builder to ensure that appropriate roofing colour and reflectiveness is installed.

5.2. GUTTERS AND DOWNPIPES

Gutters and downpipes must be selected, constructed and installed in accordance with NCC Vol. 2 Part 3.5.3. and comply with AS/NZS 3500.3. Based on rain intensity, roof catchment area, gutter & down pipe size.

Downpipe must not serve more than 12m in gutter length. Ensure appropriate falls to eave gutter and box gutters, overflow measures are to be considered in accordance with NCC Tables 3.5.3.4a & 3.5.3.4b to ensure they are capable of removing the overflow volume specified.

5.3. BOX GUTTERS

If box gutters are required they are to be designed & documented by RPEQ.

If installed a form 16 for installation will be required by a licensed roofer to ensure compliance with the design.

6. GLAZING

6.1. GLAZING

All glazing in buildings must comply with the requirements of NCC Housing Provisions 3.6 and AS1288.

6.2. UPGRADING GLAZING WHEN CHANGING USE

If a room is converted to a bathroom, en suite, bath enclosure, shower room or the like all windows and glazing are to be upgraded to comply with NCC 3.6.4.5.

7. FIRE SAFETY

7.1. SMOKE ALARMS

7.1.1. Smoke alarms are required to be installed in accordance with **Part 3A of the Queensland Building Regulation 2006** and Part 3.7.5 of the BCA. Each smoke alarm must comply with AS 3786–2014, contain a photoelectric sensor, not also contain an ionisation sensor, be hardwired to the domestic dwelling's electricity and be interconnected to every other smoke alarm installed in the dwelling.

7.1.2. Smoke alarms must be installed in each bedroom of a Class 1a domestic dwelling as per Building Regulations 2006, Section 13AC (1) and in—(a) any storey containing bedrooms—(i) between each part of the dwelling containing bedrooms and the remainder of the dwelling; and (ii) where bedrooms are served by a hallway, in that hallway, and (b) any other storey not containing bedrooms.

7.1.3. The location of smoke alarms must be on—

(i) if it is practicable to mount a smoke alarm on a ceiling—the ceiling; or

if subparagraph (i) does not apply and an exposed joist or beam has a depth of no more than 300mm when measured from the ceiling—the underside of the exposed joist or beam; or

Otherwise—a wall in an area that is between 100mm and 300mm from the ceiling and more than 300mm from the corner of 2 walls; and (b) if the smoke alarm is installed on a ceiling that slopes—must be in an area of the ceiling that is between 500mm and 1500mm from the apex of the ceiling; or (c) must not be—

(i) within 300mm of a light fitting; and

(ii) if the smoke alarm is installed on a ceiling—within 300mm of a corner of the ceiling and a wall; and

(iii) if the smoke alarm is installed in a stairwell—where smoke rising in the stairwell will not reach the smoke alarm because of an obstruction; and

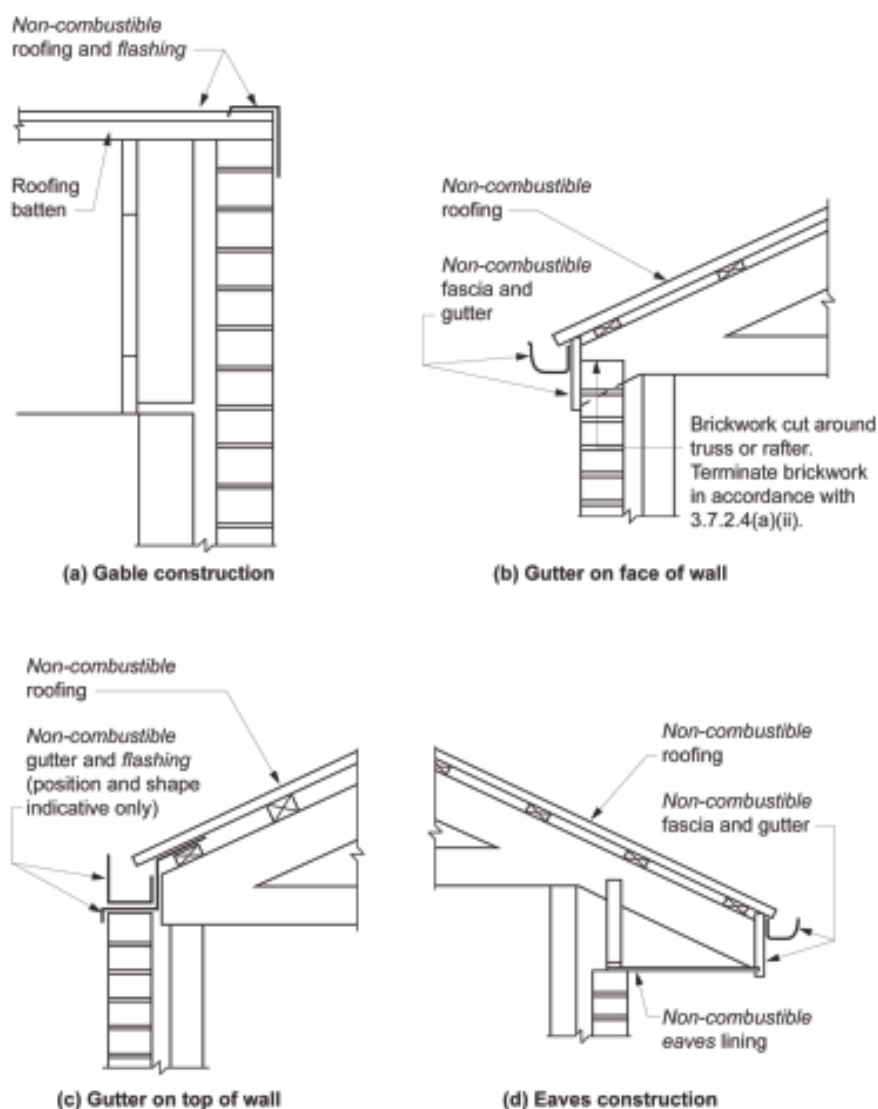
(iv) within 400mm of an opening from which air is supplied from an air conditioner or forced air ventilation; and

(v) within 400mm of the blades of a ceiling fan.

7.2. FIRE SEPARATING WALLS/ EXTERNAL WALLS

Fire separating walls or External Walls must comply with the requirements of NCC Housing Provisions Part 3.7.2 and Figure 3.7.2.3 to obtain a minimum Fire Resistance Level of 60/60/60. Walls must extend to the underside of non-combustible roof covering in accordance with NCC Figure 3.7.2.3. Prior to the work being covered or enclosed the appropriate licenced contractor must inspect and approve fire wall construction. A Form 16 certificate will be required.

Figure 3.7.2.3 Typical construction of external walls



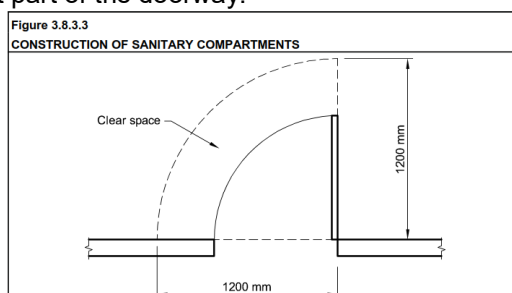
8. HEALTH AND AMENITY

8.1. LIGHT AND VENTILATION

Natural light and ventilation must be provided to all habitable rooms in accordance with NCC Volume 2 Part 3.8.

8.2. CONSTRUCTION OF SANITARY COMPARTMENTS

Sanitary facility to comply with NCC Housing Provisions Part 3.8.3. The door to a fully enclosed sanitary compartment must: open outwards, slide or be readily removable from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within the sanitary compartment and the nearest part of the doorway.



APPEAL RIGHTS

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Appeal by an applicant

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal of all or part of the development application
- a provision of the development approval
- the decision to give a preliminary approval when a development permit was applied for
- a deemed refusal of the development application.

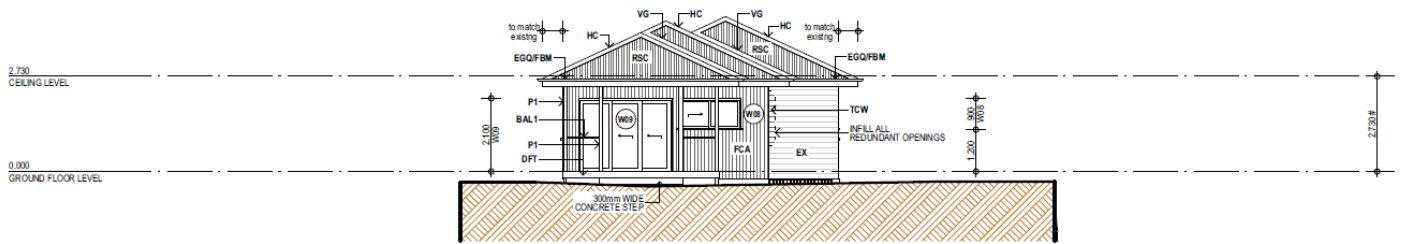
An applicant may also have a right to appeal to the Development tribunal. For more information, see [schedule 1 of the *Planning Act 2016*](#).

Appeal by a submitter

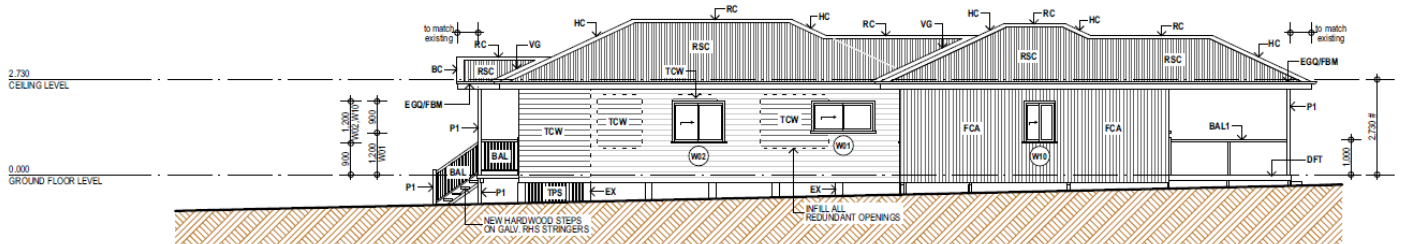
A submitter for a development application may appeal to the Planning and Environment Court against:

- any part of the development application for the development approval that required impact assessment
- a variation request.

The timeframes for starting an appeal in the Planning and Environment Court are set out in [section 229 of the *Planning Act 2016*](#).



PROPOSED ELEVATION
SOUTH
SCALE 1:100 @ A3



PROPOSED ELEVATION
WEST
SCALE 1:100 @ A3

REV	DATE	ACTIVITY	PROJECT STATUS:	PROJECT DETAILS:	DRAWING TITLE:
A	04/08/20	PRELIMINARY ISSUE	BUILDING APPROVAL ISSUE	PROPOSED ADDITIONS & ALTERATIONS	PROPOSED ELEVATION SOUTH & WEST
B	07/10/20	BUILDING APPROVAL ISSUE	COPYRIGHT: All rights reserved. This work is copyright and must not be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying and the like) without the written permission of BLUE PLANET DESIGN. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement with BLUE PLANET DESIGN.	CLIENT: MR. CRAIG MERCER & MS. JO-ANN MOORE SITE: 137 ERICA STREET, CANNON HILL, QLD 4170	SCALE: AS SHOWN DATE: 7/10/20 JOB No: 1450 PHASE: WD DRAWING No: 15 REV: B



BLUE PLANET
DESIGN

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Scott Dawson trading as Blue Planet Design [ABN 16 236 017 471] QBCC Act Licence No. 1061468 [Licence: Scott Dawson]

