

BSBPMG521 MANAGE PROJECT INTEGRATION

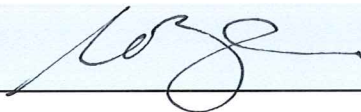
PRACTICAL ASSESSMENT INSTRUCTIONS

- The following practical assessment will require the participant to complete work related activities.
- Observations will be conducted of the participant's work to determine whether they display sufficient practical skills and knowledge.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that the assessor provided clear instructions and the participant understood what was required to complete this assessment.
- The assessor may substitute a Practical Task with another task of equal value.
 - Alternate tasks must be fully documented by the assessor.

Participant name

MARK SZYBEL

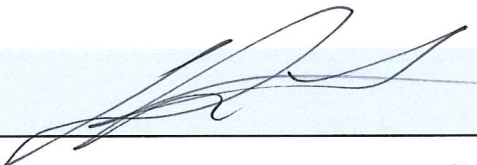
Participant signature



Assessor name

DAMIEN FRENCH

Assessor signature



Date

Click here to enter a date.

1/4/22

Number of tasks	Number of tasks completed	Satisfactory?	
		Yes	No
1		☒	☐

ASSESSOR COMMENTS

1/ ESTABLISH CONTRACT

- NEGOTIATED AND REVIEWED CONTRACT
- INVOLVED IN ENGAGING CONTRACT LAWYER TO REVIEW
- ASSIST IN TENDER
- SET UP JOB STRUCTURE WITH BUILDER
- HIRE STAFF

2/ PLANNING AND DESIGN

- ENGAGED CONSULTING ENGINEER - FULL DESIGN/CONSTRUCT PROJECT
- CO-ORDINATED AND STILL MANAGING DESIGN PROCESS
- DOCUMENT AND TRANSMIT DESIGN

3/ EXECUTE

- MANAGE PROJECT IN ENTIRETY
- DISPUTE RESOLUTION
- ACTIVE IN HIRING STAFF

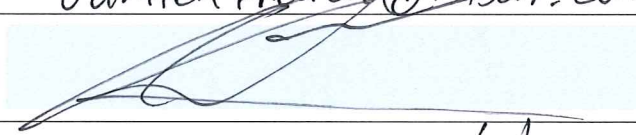
4/ PROJECT CONTROL

- MAINTAIN RECORDS AND DRAWINGS
- MAINTAIN PURCHASING SYSTEM AND JOB REPORTING

5/ FINALIZE

MAINTAIN COMPLETION DOCUMENTS VIA DMTRAK
LESSON LEARNED DOCUMENT PREPARED
PROJECT CLOSURE DOCUMENT PREPARED

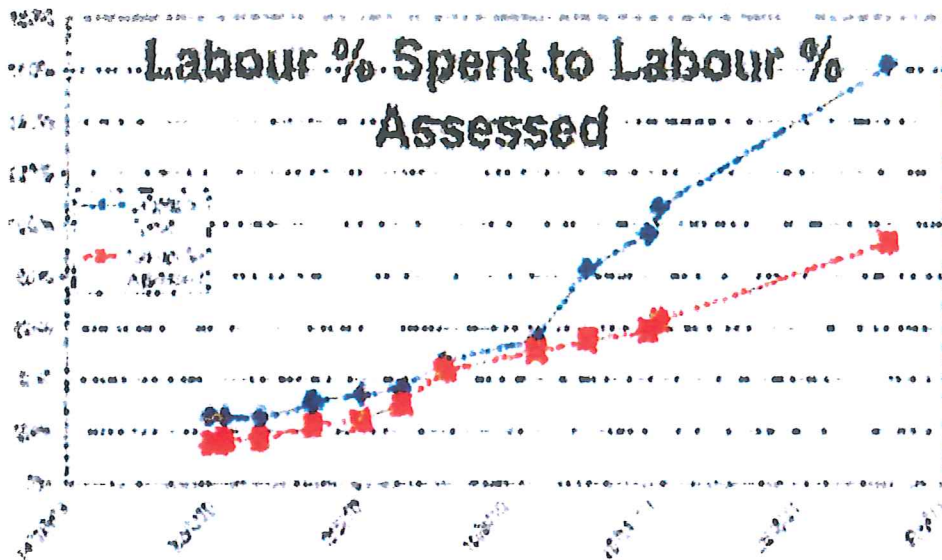
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Practical Task 1	
Description of task: A suitable observer is to verify the participant's ability to: - Integrate and balance overall project management functions of scope, time, cost, quality, human resources, communications, risk and procurement across the project life cycle; and - Align and track project objective to comply with organisational goals, strategies and objectives These tasks may be simulated or real. The participant is to gather evidence of how they have completed each component of the Practical Task, which is to be submitted with this Practical Assessment sheet. The observer is to provide detailed comments on the tasks completed by the participant. The assessor is to verify the observer's comments in the Assessor Comments section, and provide the Practical Assessment outcome on the front cover of this document.	
Resources required: Project documentation, Organisational documentation.	
Assessment of task	
Name of participant:	Mark Szmygel
Name of observer:	Damien French
Role of observer (Confirm suitability to sign)	SENIOR PROJECT MANAGER
Email address of observer	damien.french@nitsen.com.au
Signature of observer:	
Date:	Click here to enter a date. 1/4/22
When completing the task, did the participant:	Tick if satisfactorily completed. Provide comments if left unticked.
1 Establish project	
1.1A. Identify, clarify and prepare project initiation documentation.	☒
1.1B. Identify relationship between the project and broader organisational strategies and goals.	☒
1.1C. Negotiate and document project objectives, outcomes and benefits.	☒
1.1D. Negotiate project governance structure with relevant authorities and stakeholders.	☒
1.1E. Prepare and submit project charter for approval by relevant authorities.	☒
2 Undertake project planning and design processes	
1.2A. Establish and implement a methodology to disaggregate project objectives into achievable project deliverables.	☒
1.2B. Identify project stages, phases and structures – considering key requirements for stage completion against client requirements and project objectives.	☒

1.2C.	Analyse project management functions to identify interdependencies and impacts of constraints.	☒
1.2D.	Develop a project management plan integrating all project-management functions with associated plans and baselines.	☒
1.2E.	Establish designated mechanisms to monitor and control planned activity.	☒
1.2F.	Negotiate approval of project plan with relevant stakeholders and project authority.	☒
3 Execute project in work environment		
1.3A.	Manage the project in an established internal work environment, ensuring effective work throughout the project.	☒
1.3B.	Maintain established links to align project objectives with organisational objectives throughout the project.	☒
1.3C.	Within authority levels, resolve conflicts negatively affecting attainment of project objectives.	☒
4 Manage project control		
1.4A.	Ensure project records remained updated against project deliverables and plans at required intervals.	☒
1.4B.	Analyse and submit status reports on project progress and identified issues with stakeholders and relevant authorities.	☒
1.4C.	Analyse and submit impact analysis of change requests for approval, where required.	☒
1.4D.	Maintain relevant project logs and registers accurately and regularly to assist with project audit.	☒
1.4E.	Ensure associated plans remained updated to reflect project progress against baselines and approved changes.	☒
5 Manage project finalisation		
1.5A.	Identify and allocate project finalisation activities.	☒
1.5B.	Ensure project products and associated documentation were prepared for handover to client in a timely manner.	☒
1.5C.	Finalise financial, legal and contractual obligations.	☒
1.5D.	Undertake project review assessments as input to future projects.	☒
The participant's performance was: ☒ Satisfactory ☐ Not Satisfactory		

OBSERVER COMMENTS

1/ Company Manual USED TO ESTABLISH AND RUN PROJECT



THE
NILSEN

www.nilsen.com.au

WAY

NPC MANAGEMENT GUIDE & REQUIREMENTS

CONTRACTING

ENGINEERING
SERVICES

SWITCHBOARDS

COMMUNICATIONS
&
NETWORKS
SERVICES

Prepared March 2015

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ESTABLISH PROJECT

- CONTRACT REVIEWED -

- CONTRACT LAWYER REVIEWED



Nilsen Contract Review Template

Project Name / Description:	
Builder / Client:	
Estimated Contract Value:	
Review Date:	

Provision subject	Key risk considerations	Compliance	Comments on compliance / analysis of non-compliance
Section 1 - Scope (Divisional Manager)			
1.1 Contract documents	Detailed review required to ensure that all tender and clarification documents are included as contract documents. Review should ensure that drawings relevant to other trades (often provided for co-ordination purposes) are not included as contract documents under Nilsen's contract – this may oblige Nilsen to carry out works contained therein.		
1.2 Order of precedence	Review should ensure that relevant Nilsen's terms and conditions of tender override anything contained in a letter of award, purchase order, unsigned contract etc.		
1.3 Post tender review checklist	No post tender review checklist should be signed without a detailed review. Specifically, only [Commercial Managers] have authority to nominate Nilsen representatives in such checklists.		
Section 2 - Financial (Commercial manager and divisional manager)			
2.1 Security	Security should be capped at 5% of the contract sum (i.e. 2 x 2.5% bank guarantees). Mining, industrial, switchboard and major government projects may require higher security – this will require Nilsen director approval. In any event, bank guarantees over [5%] will require the approval of [a director].		
	Contract provisions should state that securities are given for the purpose of providing security for Nilsen's performance under the contract.		
	Nilsen should attempt to insert provision requiring client to give [5] business days' notice before having recourse to security.		
	Cash retention provisions to be reviewed to assess: • whether cash to be held on trust for Nilsen in separate account; and • the entitlement to interest accrued.		
	The contract should only entitle the client to have recourse to security where there is an amount "due and payable" under the contract (cf. where the client "claims" an entitlement to payment under the contract or otherwise for contention claims for amounts which "may become due").		
	Nilsen should not agree to "top-up" provisions where client has recourse to security and should not agree to provisions requiring security to be "maintained" (i.e. in addition to being provided).		
	Nilsen should not agree to provisions allowing novation or assignment of security to another party (i.e. head contract principal).		
	Provisions requiring security to be "topped up" for scope growth and variations are to be resisted. Where Nilsen is required to provide additional security in these circumstances the amounts should be clearly outlined (i.e. where cost of variations exceeds \$1m or 50% of the contract value, whichever is the greater, Nilsen will provide additional security at 2.5% of the total cost of the variations).		
2.1 Release of security (Divisional manager)	Confirm cost of bank guarantee as part of commercial review.		
	50% of security should be released upon PC and the other 50% at the end of the defects liability period. In both cases, security should be released within [7] days of relevant milestone. (Note: QBSA for Queensland projects – prescribes terms for release of security (\$67L)) Consider commercial implications where there are onerous preconditions for the release of security. See 12 below.		
2.2 Credit check (Commercial manager)	Conduct credit check and indicate if results are positive / acceptable / negative as part of commercial review. Credit check could involve review of ASIC financials or Dunn & Bradstreet credit report.		
2.3 GST	Commercial review should note if price is GST inclusive or exclusive – if price is GST exclusive add GST to contract sum for commercial reporting purposes.		
Section 3 - Insurance (Commercial manager)			
3.1 Generally	Nilsen may list larger clients as interested parties on insurance policies. However, Nilsen should not take out insurance in the joint name of the client.		
	Nilsen should provide certificates of currency not copies of insurance policies to client when requested.		
	Commercial review should consider whether Nilsen is able to obtain / has insurances required by contract and whether the insurances are reasonable considering the size of the project (including motor vehicle insurances and plant and equipment insurances).		
	Commercial review should also consider whether Nilsen is being required to insure beyond its actual works. Nilsen should not be required to obtain insurances for things other than the impact of its work on the client.		
	Nilsen should not accept cross liability or subrogation clauses – in any event consultation with the insurance broker will be required before such provisions can be agreed to.		
	Review provisions which allocate liability for deductible – Nilsen only to be responsible for deductible for Nilsen acts / omissions.		
3.2 Head contractor insurance	Nilsen should seek to have client / head contractor insurances in its joint name. In any event, Nilsen should be named as an interested party and should request and store certificates of currency.		
3.3 Public liability insurance	Nilsen should not agree to clauses which provide for the client to take out public liability insurance but require Nilsen to cover deductible / excess.		
	Total cover of Nilsen public liability policy should not exceed [\$20m] per claim and [\$20m] in the aggregate.		
3.4 Professional indemnity insurance	PI insurance is only required where Nilsen is performing design work.		
3.5 Workers compensation	Total cover of PI should not exceed [\$10m].		
	Nilsen should not cover the client's liability for Nilsen employees.		
3.6 Events	Nilsen should only be required to notify the client of events which will adversely affect or compromise insurance policies. i.e. avoid broad notice requirements relating to all insurance related matters.		
Section 4 - Liabilities & Indemnities (Commercial manager and divisional manager)			
4.1 Liability caps	Nilsen should also attempt to have the extent of its liability capped at [\$20m or the contract value, whichever is the lesser. Generally, clients will only accept a minimum of \$20m but we should try for less.].		
	Further, with respect to any exclusion to the monetary cap (eg. for personal		

EXTRACT 10F 4
1 ONLY.

WEEKLY PROJECT REPORT

PROJECT TITLE	ICT PACK C	PROJECT NO.	60145
PROJECT MANAGER	Mark Szybel	PROJECT ADMINISTRATOR	Carly Griffiths
CLIENT	BUILT	WEEK ENDING:	14/3/22

1. Personnel	Mark Szybel – Project Manager Scott Whiston – Tech Manager Carly Griffiths – Project Administrator Foreman – Simon McFerran Leading Hand- Travis Retif 11 x Tradesman not counting FM/LH above 1 x Apprentices
2. Plant and Equipment	6 X Scissor Lifts (Hired)
3. Major / Bulk POs Placed	
4. Subcontractors Enlisted	Nil
5. Financials	NPC up to date: YES (Date: 11 / 3 / 2022) Variations: # submitted: 15 # approved: 5 (3 being give backs) # in dispute rejected:
6. Major Deliveries to Site	Minor site deliveries only
7. Tasks Completed this week	In Ceiling fibre 98% complete L6
8. Tasks in Progress this week	Fat Noodle rough in – copper L6 zone 1 cable tray
9. Tasks Commencing next week	Floor basket continuation zone 3 – 3/3/22 – now able to proceed

Nilsen (QLD) Pty Ltd ABN: 50 115 075 048	TITLE	Weekly Project Report	ISSUE #	01
	FORM	A-1-454	ISSUE DATE	12/2021
	STATUS	Uncontrolled when printed	PAGE	1 of 2

WEEKLY PROJECT REPORT

10. WHS Stats	Item	Weekly Total	Cumulative Total
	Prestarts	5	21
	Toolboxes	1	4
	Take Fives	125	341
	Task Observation	1	3
	Near Miss		
	Incidents		
	Inspections		
11. Quality	ITP's Developed <i>Ongoing RI of cable being maintained.</i>		
	ITP's in Progress <i>ITP for in ceiling tray Zone 1 ongoing</i>		
	ITP's Completed <i>Nil – On completion of ITP it is entered into OMTRAK</i>		
	Samples Submitted – NIL		
	Samples Approved – All entered as approved into OMTRAK		
12. Meetings			
	Commissioning meeting package C		
	Variation meeting- Jess, Mark, Brian		
	Foreman meeting		
	PDP review		

Attachments	<i>e.g.</i>
	<i>Variation Status Spreadsheet</i>
	<i>Current Construction Program</i>
	Current drawing register AFC

Note: Please refer to A-1-XXX Project Reporting and Project Performance Management Procedure for guidance on completing this report

Nilsen (QLD) Pty Ltd ABN: 50 115 075 048	TITLE	Weekly Project Report	ISSUE #	01
	FORM	A-1-454	ISSUE DATE	12/2021
	STATUS	Uncontrolled when printed	PAGE	2 of 2

3/

EXAMPLE OF DISPUTE RESOLUTION



MAIL TYPE

Subcontractor Advice

MAIL NUMBER

NilsenQ-SUBADVICE-001538

REFERENCE NUMBER

NilsenQ-SUBADVICE-001538

Ceiling basket installation damage L06

From Mark Szybel - Nilsen (QLD) Pty Ltd

To (3) ~~Ms Jessica Homming - Built Pty Ltd~~
~~M. Scott Martin - Built Pty Ltd~~
~~Simon Lunn - Built Pty Ltd~~

Cc (4) Mr Damien French - Nilsen (QLD) Pty Ltd
~~M. Scott Whiston - Nilsen (QLD) Pty Ltd~~
~~Jacob O'Brien - Nilsen (QLD) Pty Ltd~~
~~M. Simon McFarlane - Nilsen (QLD) Pty Ltd~~

Sent Monday, 28 March 2022

MESSAGE

Scott,

Upon inspection for our ITP for tray Level 6 zone 1/2 we have noted significant damage to our installation.

A summary of the damage below and photos attached

- Multiple areas where the fibre has been pinched between our basket and ceiling hanger strut potentially damaging them.
- Multiple areas where our basket has been cut with an angle grinder in very close proximity to our fibre. This potentially compromises our warranty with Commscope due to pitting from sparks and heat from the basket rungs being cut and has also weakened our total basket structure.
- Multiple areas where our tray support has been removed and replaced with cable ties. This has compromised our Form 15 with Kusch
- An area where a seismic brace was loosened and raised
- Multiple areas where we have been wound hard up against electrical causing a segregation issue. This will be rejected by WSP
- Multiple areas where our basket was cut and wound hard up to ceiling strut therefore preventing its use as a future pathway as per specification. WSP/STAR will reject this.

In order for us to now certify/warrant this area we will have to re-instate rod supports, re-instate and re-certify our seismic installation and pre test the fibre using OTDR which will pin point any damage and its location. Noting that any damaged fibers will need to be replaced at an estimated 16 to 20 week delay. We do not have spare fibres and will need to hire the test instrument. We will need the ceiling installation halted whilst these works are underway. It should also be noted that our installation will now not reflect the current model as heights have been altered. Please issue a site instruction for us to commence repair of the area, we can perform works on overtime to prevent program slip.

Simon and Mick Wilson can walk you through the individual locations if you require further info.

Mark Sztybel
Project Manager



Nilsen (QLD) Pty Ltd

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E marksztybel@nilsen.com.au

1/33 Miller Street, Murarrie QLD 4172

4/ MANAGE PROJECT CONTROL

MAINTAIN LOGS AND REGISTERS

Queens Wharf			Risk Assessment		HIRAC		Responsible Entry		STATUS	
Project Specific Register			Risk		Risk Level		CONTROL MEASURES			
REF.	Work Activity, Process or Task (The extent of the scope of work, or process that gives rise to the identified risk)	Hazard (Source of harm)	HRCW?	Likelihood	Consequence	Risk Level	(Describe the controls associated with the risks identified)			
SET	Site Establishment	Unauthorised access	No	Pos	MS	Med	Workers to follow designated route via controlled site access points All access to site must comply with Built/Multiplx access deed requirements, including - Following Mandatory PPE/PPE Free zone compliance as per signage No access to MPX controlled work areas without prior approval from Built Hoardings must be checked regularly to ensure hoardings have not been damaged or altered		3 Isolate Built & PCBU Administ Built & PCBU	Ongoing Ongoing
	Deliveries, working in loading dock Site Streets, location and connection of services						Include hoarding in HSE-122A Temporary Works Register Hoarding doors to remain closed at all times Refer Standard Controls Tab Site Access and Security Construction zone to be isolated from other workers, public and neighbours (by Mulligren) with physical barriers No unauthorised traffic to enter construction site Loading dock to be established for all deliveries - exclusion zone set up around dock (potential shared zone with MPX to be agreed and established) TMP & VMP to be followed at all times Delivery Drivers shall remain in the vehicle or designated driver area while the load is being assessed and unloaded Specters shall remain in the vehicle or designated safe zone while the load is being loaded and unloaded Drivers and/or workers to have undergone Load Restraint Training if restraining or un-restraining loads for vehicles over 4.5t.		Administ Built Engineer Built 1 Engineer Built & PCBU 3 Isolate PCBU	Ongoing Ongoing Ongoing Ongoing
							All Electrical Circuits must have Certificates of Conformation HSE-094 Compliance Certificate for Temporary Electrical Works Built From HSE-092 Notification Of Service Status to be completed and signed off by trades working in designated area Specters to communicate with forklift operator when mast is extended near services. Specters to have visual and verbal contact with forklift operator. Fuel storage tank to have bunding		Administ Built & PCBU Administ Built & PCBU 1 Engineer Built	Ongoing Ongoing Ongoing
							Spill kit & Fire extinguisher to be positioned in loading dock Drains in loading dock identified and protected with covers, silt socks and gepdb, depending on the size and location of the drains Fuel tank to be stored in low trafficable area within loading dock		Administ Built 1 Engineer Built 3 Isolate Built	Ongoing Ongoing Ongoing
							Hand wash and sanitise in amenities, site entry including various locations on site and offices Hand washing posters, social distancing measure poster, COVID-19 info posters, signs and Daily Toolbox Talks (held in open areas, short duration, social distancing) covering symptoms, control measures and hygiene. Subtle notifications on symptomatic and confirmed cases to be communicated, and following updates from government guidelines. Lunch room spill set up as per social distancing requirements Site office and amenities are cleaned regularly All doors within construction are printed back. Hoarding entrances in public areas remain closed		Administ Built Administ Built & PCBU Administ Built & PCBU 1 Engineer Built 1 Engineer Built	Ongoing Ongoing Ongoing Ongoing Ongoing
							Appliances such as toasters and sandwich makers demand regularly Refer to Appendix 15 - Pandemic Response Plan for measures to be undertaken/implemented if worker, staff, client or visitor presents with symptoms or confirmed positive case Exclusion zones setup around areas with suspected mould.		1 Engineer Built & PCBU 5 Built & PCBU Administ Built & PCBU 3 Isolate Built	Ongoing Ongoing Ongoing Ongoing
							Envirosafe health engaged to test pre and post mould removal.		5 Built Administ Built & PCBU 5 Built & PCBU Administ Built & PCBU	Ongoing Ongoing Ongoing Ongoing
							Asbestos engaged to remove mould.		5 Built & PCBU Administ Built & PCBU	Ongoing Ongoing
							H Class vacuums & double bagging process used to remove mould.		1 Engineer Built & PCBU 1 Engineer Built & PCBU 3 Isolate PCBU	Ongoing Ongoing Ongoing
							Refer to Standard Controls tab - Electrical Refer to Standard Controls tab - Hazardous Chemicals / Materials Crystalline Silica		1 Engineer Built & PCBU 1 Engineer Built & PCBU 3 Isolate PCBU	Ongoing Ongoing Ongoing
							All bulky to be removed using vacuum and disposed of in bags Refer to MPX Mobile Plant Movements and activities Refer to Standard Controls tab - Working at Heights		1 Engineer Built & PCBU 3 Isolate Built & PCBU 1 Engineer Built & PCBU 3 Isolate Built & PCBU	Ongoing Ongoing Ongoing Ongoing

Variation Summary

Nilsen Variation #	Client Reference	Description	Status	Value	Nilsen Comments
VQ001	Das Redesign (waiting on VD number when VO finalized)	DAS redesign install on numerous levels.	Pending	Damien French	Still Pending Client requires more breakdown, Jess to submit formal reply.
VQ002	Core holes ongoing. (Moved to Multiplex VQ-038 VD 200147 LV 05 Zone 2)	Core holes to numerous levels of construction works.	Pending	Scott Whiston	level 5 & 6 Complete Rest unknown SW
VQ003	Cable Basket Material Change Subadvice - 000972	Change to Cable Basket type for Level 5 & 6 in ceiling and underfloor	Submitted	20,000.00	Sent Pending Review of Changes
VQ 004	Variation Direction 150041. Reduction in Ceiling Racks	VD150041 - Reduction of the in ceiling equipment racks and associated fibre backbone cabling. Reduction in the in ceiling equipment racks to align with the section 10.3.3.4 of the TSEG IT Design Guidelines and standards document (SEG-RPT-ICT-PYD-00001) providing 1 in ceiling rack to up to 4 underfloor / floor gaming grids. Tender total of in ceiling racks was 345, redesign of the in ceiling services has reduced this quantity down to a total of 57 in ceiling racks.	Submitted	54,550.00	Status Unknown SW
VQ 005	Map Redesign	WAP redesign L5 L5E and L6 due to signage and AV changes	Submitted	20,000.00	Submitted MS
VQ 006	Variation Direction 150065	People counters L5 and L6 directed by DBC VD - clause 26.1a 150065	Submitted	6,427.55	Submitted MS
VQ 007	BUILT-RPT-000733 - Live Bar AV Data Requirements	Additional Cat 6 outlets to the live bar for AV requirements. Reference mark ups on Drawing G-BUI-HAS-DRW-INT-ICG-LOS-20002_F (2) DIV MUP pdf	Submitted	44,000.00	Submitted BP
VQ 008	Variation Direction 150068 Clause 26.1 Guest Support.	Additional Data, WiFi, Phone & Data outlets to the Guest Support Centre. Level 05 Zone 2. Supply & Installation of 8 x Cat 6A Outlets for CCTV, 4 x Cat 6A cables for spare due to unknown coverage of CCTV areas. (To be collid in ceiling for future use. Due to access at a later date)	Submitted	47,291.94	Submitted SW. Used to be VD150046, & 54
VQ 009	Variation Direction 150062	Convential In-ceiling ICT to Level 06 Sovereign & Oasis Dining Areas. Variation Costs in progress.	Submitted	20,000.00	Submitted BP 01-02-2022
VQ 027	Variation Direction 150054	Additional Data Outlets, WAP & CCTV cabling to suit new room layouts & gaming room layouts. Level 05 Zone 1, 2, 3, 4 Level 6 Zone 3. Allowances for CCTV Devices are yet to be provided by Honeywell. Any additional CCTV Devices required for these works that have not been allowed for in the breakdown are out of scope and will need to be priced in addition to these works.	Submitted	1,000.00	Submitted SW, Additional Breakdown Sent, BP
VQ 030	Variation Direction 150037 Fibre to Outdoor Terraces	Variation Request 150037 - Future Provision for Level 6 Outdoor Terraces. 24 Core OS2 cable from each of the Level 5M Gaming Rooms to each of the outdoor terrace locations x 2. Fibre terminated in a Consolidation Point within the ceiling for future extension to the terraces.	Submitted	3,000.93	Submitted MS
VQ 031	Variation Direction 150044, AV Changes to Level 05 & 06	VQ-031 Variation Direction 150044, AV Changes to Level 05 & 06. Outlet quantities and location breakdown as per G-BUI-DIV-BRF-AV-AV-ICG-LOS-00001, detailed breakdown per location below.	Submitted	5,000.00	Submitted MS 26-11-2021
VQ 032	Variation Direction 150053 Screens & Signage	Variation Direction 150053, Level 05 & 06 AV Screens & Signage. Installation of Cat 6A Patch Cords from the Signage to the Inceiling Equipment Racks. Level 5 Main Gaming - 56 x Cat 6A Patch Cords & required pathways Level 5 Main Gaming - 2 x 12 Core Fibre cable to the ETG Stadium Sign to the level 5M Gaming rooms Level 6 Oasis Gaming - 44 x Cat 6A Patch Cords & required pathways Level 6 Sovereign Gaming - 10 x Cat 6A Patch Cords & required pathways	Submitted	20,000.00	Submitted 03-09-2021 DF / Scope change to be repriced

41



PROJECT PLAN REGISTER

In case any cell is highlighted in Red, that means the data is not exported correctly for that cell as it has exceeded the excel limit of 32767 characters

Nilsen (QLD) Pty Ltd

Queens Wharf Brisbane
Search Export To Excel

Project: Queens Wharf Brisbane

Filter: Type: Shop Drawing, Discipline: Info & Comm Technology, Super Search: NILSEN

Generated Mark Stytbel, Nilsen (QLD) Pty Ltd

Generated Wednesday, 2 March 2022 4:50:42 PM

Number of Results: 106
Showing Result 1 to 106

File	Document No	Title	Rev's Status	Type	Discipline	Phase	Created By	Date Modified	Revision Date
pdf	G-BUI-NIL-SDW-ICT-Tf & DRAWING LIST	LEGEND, GENERAL NOTES, SCHEDULES	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 1	LEVEL 05 UNDERFLOOR ICT	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 2	LEVEL 05 UNDERFLOOR ICT	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 3	LEVEL 05 UNDERFLOOR ICT	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 4	LEVEL 05 UNDERFLOOR ICT	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf LAYOUT	LEVEL 05 OVERALL	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 1	LEVEL 05 IN CEILING	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 2	LEVEL 05 IN CEILING	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 3	LEVEL 05 IN CEILING	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022
pdf	G-BUI-NIL-SDW-ICT-Tf OUTLETS ZONE 4	LEVEL 05 IN CEILING	For Construction	Shop Drawing	Info & Comm	5 Construction	Nilsen (QLD) Pty Ltd	03/02/2022	03/02/2022

		
		
9/5- Bull T behind program 6 days	NU SEN has attempted to progress area to try to maintain program	Arena now open PM 10/3

Level 5 Queen's Wharf - 3 Week Programme

Built.

Prepared By: Steve Eglington / Rob Kier
 Checked By: Leif Aleksic/James Dane
 Date Prepared: 14/12/2021
 Issues:

Week 1

Week 2

Week 3

NOTE:

Task On Track / Complete
 Task plan
 Task plan
 Hold point

ID	Trade	Task	Mon	Tues	Wed	Thur	Fri	Sat	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Sun
Sports Bar																							
	Fine Line	Frame and sheet Walls to sports bar bulk head																					
	Unita	Ratten ceiling install																					
	Fine line	Sheet remaining ceilings around ratten ceiling																					
	Fine line	Column framing																					
Sports Bar TAB area On Hold waiting on further design																							
	SDF	Rough in extra cabling for the changes to the TAB area																					
	Allegato	Rough in extra cabling for the changes to the TAB area																					
	One diversified	Rough in extra cabling for the changes to the TAB area																					
	Fine line	Sheet, set, sand ceilings																					
	Alagated	Paint ceilings																					
Food Quarter kitchen area																							
	Fineline	install walls, sheet, set																					
	Fineline	sheet, set, sand ceilings																					
	Alagated	Paint ceilings																					
	Stoddart's	Spine install																					
	Subzero	Install fridge freezer																					
	Service trades	E slop install																					
	master floors	Access flooring																					
	Set tiling	waterproof, screed and tile floors																					
	Smoke control	curtain install																					
Food Quarter kitchen Seated area																							
	Smoke control	smoke curtain install																					
	Master floors	Mark out pedestals and seal floors for access flooring																					
	Master Floors	Install access floor																					
Live Bar, Bar and BOH																							
	Ingrams	Joinery support installation																					
	Fine line	Pass through structural supports																					
	Fine line	set and sand																					
	Fine line	Frame / sheet bulkhead to keg room																					
	Fine line	Frame ceilings																					
	Premier fire	Fitoff sprinkler																					
	Fine Line	Sheets ceilings, set and sand																					
	Amalgated painting	Spray sealer coat and second coat to ceilings																					
Live Bar Front of house area																							
	Ingrams	Joinery ceiling supports																					
	Premier Fire	Fitoff sprinkler heads to ceiling frames																					
	Fine line	Install noggin supports for lighs																					
	Fine Line	Sheet ceiling, set and sand ceilings																					
	service trades	mark and cut out services																					
	Amalgated painting	Spray sealer coat and second coat to ceilings																					
Tower 2 lift lobby/ATM																							
	Fine line	Sheet walls																					
	Premier Fire	Fitoff sprinkler heads																					
	Fine line	Sheet ceiling set and sand																					
Southern Entry																							
	SDF	install hangers/fixings for AGLO light																					
	Premier fire	Sprinkler install																					
	Fine Line	GRG, Sheet, set and sand ceilings																					
Gaming Zone 3A																							
Gaming Zone 3B																							
Gaming area 4.																							
	service trades	Mark and cut out services																					
	Amalgated painting	Spray sealer coat and second coat to ceilings																					
	Master floor	Mark out pedestals and seal floors for access flooring																					
	Nilsen	Install under floor cable tray																					
	SDF	Install under floor cable tray																					
	Masterfloors	Install access flooring.																					
Reception area																							
	Fine line	Sheet, Set, Sand ceilings																					
	Service trades	Mark and cut out services																					
	Amalgamata painting	Paint ceilings																					
	Master floors	Mark out pedestals and seal floors for access flooring																					
	Nilsen and SDF	Install under floor cable tray																					
	Master floors	Install access flooring																					
Gaming area 4 Amenities																							
	Fineline	Frame remain walls																					
	Beavis and Bartle	Roughing remain in wall hydraulics																					
	Fineline	Noggin wall framing																					
	Fineline	sheet and set walls																					
	Fineline	Frame and sheet ceilings																					

Agree

Will comment on next look ahead. Unsure if enough time for floor tray. Need to see how quick floor stands go in??

4/

Issues:			3/1/22	4/1/22	5/1/22	6/1/22	7/1/22	8/1/22	9/1/22	10/1/22	11/1/22	12/1/22	13/1/22	14/1/22	15/1/22	16/1/22	17/1/22	18/1/22	19/1/22	20/1/22	21/1/22	22/1/22	23/1/22
ID	Trade	Task	Mon	Tues	Wed	Thur	Fri	Sat	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Sun
	Service trades	Mark out ceilings																					
	Beavis and Bartle	Rough in underfloor sewer connection																					
	Master Floors	Install raised floor																					
	Set tiling	Water proof floors and walls																					
	Set tiling	Screed floors																					
	Set tiling	Tile floors																					
	Set tiling	Tile walls																					
Live bar Amenities																							
	Fine line	Frame ceilings																					
	Premier fire	Fix sprinkler heads to ceiling framing																					
	Fine line	Noggin ceiling framing																					
	Fine line	Sheet, set sand ceilings																					
	Service trades	Mark out ceilings and out out services																					
	Amalgamated painting	paint ceilings 2 coats																					
	Beavis and Bartle	Rough in underfloor sewer connection																					
	Master Floors	Install raised floor																					
	Set tiling	Water proof floors and walls																					
	Set tiling	Screed floors																					
	Set tiling	Tile floors																					
Gaming area 2																							
	Premier fire	High level wet sprinkler pipe																					
	All trades	Pre drill hangers prior duct work being installed																					
	AG Coombs	High level duct work																					
	AG Coombs	low level duct																					
	Nilsen	Install data cable tray																					
	SDF	Install power cable tray																					
	Honywells	Install security cabling																					
	One Diversified	Install AV cabling																					
	Premier fire	Install dry fire cable																					
	Fine line	Install ribbon bulk head structural steel																					
Gaming area 3																							
	Premier fire	High level wet sprinkler pipe																					
	All Trades	Pre drill hangers prior duct work being installed																					
	AG Coombs	High level duct work																					
	Nilsen	Install data cable tray																					
	SDF	Install power cable tray																					
	Honywells	Install security cabling																					
	One Diversified	Install AV cabling																					
	Premier fire	Install dry fire cable																					
	Fine line	Install ribbon bulk head structural steel																					
Gaming area 1																							
	Fine Line	under slab insulation																					
	Premier fire	High level sprinklers																					
	All trades	Pre drill hangers prior duct work being installed																					
	AG Coombs	High level duct work																					
	Nilsen	Install data cable tray																					
	SDF	Install power cable tray																					
	Honywells	Install security cabling																					
	One Diversified	Install AV cabling																					
	Premier fire	Install dry fire cable																					
	Fine line	Install ribbon bulk head structural steel																					
Fat Noodle																							
	Fine Line	Install under slab insulation																					
	Premier fire	High level wet sprinkler pipe																					
	All trades	Pre drill hangers prior duct work being installed																					
	AG Coombs	High level duct work																					
	Nilsen	Install data cable tray																					
	SDF	Install power cable tray																					
	Honywells	Install security cabling																					
	One Diversified	Install AV cabling																					
	Premier fire	Install dry fire cable																					

Agree. We may have to rod and cap any areas in co-ordination with duct install in case where it block ceiling access. Site teams to co-ord amongst themselves

Agree. We may have to rod and cap any areas in co-ordination with duct install in case where it block ceiling access. Site teams to co-ord amongst themselves

Agree. We may have to rod and cap any areas in co-ordination with duct install in case where it block ceiling access. Site teams to co-ord amongst themselves

Agree. We may have to rod and cap any areas in co-ordination with duct install in case where it block ceiling access. Site teams to co-ord amongst themselves

Job Forecast Control

Nilsen (QLD) Progress Claim Forecast

Projects

[illegible]

- PROJECT Finalisation

ACTION RESPONSE AND CLOSE OUT RELATING TO TH NPC AND SITE INDEPENDENT REVIEW			
Date Of Independent Review		March 2015	
Review Item	Project Managers Comment	Action Required	Close out conformation or ongoing requirement
Key indicators items			
Regularity			
Accuracy of inputs			
NPC faults			
Labour split up			
Material split up			
Burn rates			
Hire labour			
PM predictions			
Variations			
Processes			
Management Structure			
Site accommodation and logistics			
Overall site conditions			
Builder/ client relations			
Progress claims compared to costs and payments			

ACTION RESPONSE AND CLOSE OUT RELATING TO TH NPC AND SITE INDEPENDENT REVIEW			
Recommendation 1			
Recommendation 2			
Recommendation 3			
Recommendation 4			
Recommendation 5			
Recommendation 5			
General Notes			
Project Manager Sign Off	Construction Manager Sign Off	Date	

Handover Documentation



#6896 Queens Wharf - Built Contract Works (Gaming Floors) ▾

○○○

- Dashboard
- Documents
- Manuals
- Mail
- Reports

Reports » Manuals Reports » Content & Status Summary



Content & Status Summary

MANUALS

- Podium
- Communications

☐ Introduction	25%	Nov 12, 2021	2	3	Nov 12, 2021		
☐ Assets	0%		0	0			
☐ Maintenance	0%		0	0			
☐ Operations & Tech Data	25%	Nov 29, 2021	13	13	Nov 29, 2021		
☐ Warranties	0%		0	0			
☐ Certificates	0%		17	5	Apr 1, 2022		
☐ Commissioning Information	0%		4	2	Jan 7, 2022		
☐ Spares	25%	Nov 18, 2021	0	1	Nov 18, 2021		
☐ Help & Contact	25%	Nov 12, 2021	0	5	Nov 12, 2021		
☐ As Built Drawings	0%		0	0			

REVIEW WORKFLOW

REVIEW UPDATED

DOCUMENTS

CONTENT

CONTENT UPDATED