

CPCCBC4026A ARRANGE BUILDING APPLICATIONS AND APPROVALS & CPCCBC4031A PROCESS CLIENT REQUIREMENTS

Practical Task 1 (2X)		
Description of task: On two (2) occasions, a suitable observer is to verify the participant's ability to process client requirements in relation to contract documentation. The participant is to obtain client information, accurately convey that information to those developing contract documentation (including drawings and specifications) and complete the administration of the contract documentation process. 10. Occasion 1: Residential construction project 11. Occasion 2: Commercial construction project The participant is to gather evidence of how they have completed each component of the Practical Task, which is to be submitted with this Practical Assessment sheet. Evidence to be submitted may include: 12. RFI sent to client and proof of correspondence 13. Variation sent to client and proof of correspondence and acceptance The observer is to provide detailed comments on the tasks completed by the participant. The assessor is to verify the observer's comments in the Assessor Comments section, and provide the Practical Assessment outcome on the front cover of this document. Resources required: Telephone, facsimile machine, computer.		
Assessment of task		
Name of participant:	Kylie Waldock	
Name of observer:	Ryan Williams	
Role of observer (Confirm suitability to sign)	Development Manager	
Email address of observer	ryan.williams@visitlatitude25.com.au	
Signature of observer:		
Date:	25/08/2020	
When completing the task, did the participant:	Tick if satisfactorily completed. Provide comments if left unticked.	
	1 st Occasion	2 nd Occasion
1. Work with the client to identify and document planning and design requirements:	☒	☐
2. Identifying client's design needs	☒	☐
3. Providing correct technical/product knowledge	☒	☐
4. Identifying restrictive covenants	☒	☐
5. Addressing documentation and design risks (including copyright)	☒	☐
6. Determine site costs with client, including:	☒	☐
7. Arranging site investigation to determine site features and costs	☒	☐
8. Confirming client's understanding of extent and cost of required site works	☒	☐
9. Arrange and oversee the preparation of sketch plans.	☒	☐

10. Forward plans to client for approval or amendment, relaying costing and variation requests to drafting personnel.	☒	☐
11. Finalise sketch plans, specifications and cost documents with client, ensuring all documents were signed and details were initialled.	☒	☐
12. Prepare preliminary contract according to organisational needs (selecting correct contract type, and including appropriate clauses and conditions), and submit for checking and recording.	☒	☐
13. Prepare construction documents according to preliminary contract, meeting:		
14. Regulatory authority approval processes	☒	☐
15. Building and construction codes		
16. Standards		
17. Effectively communicate using the following methods:		
18. Verbally using language/concepts appropriate to cultural differences	☒	☐
19. Non-verbal communication		
20. Using technology (including telephone, facsimile, email)		
21. In writing (to produce contracts and other relevant workplace documentation)		
The Participant's performance was: ☒ Satisfactory ☐ Not Satisfactory		

OBSERVER COMMENTS

Evidence attached:

- >Residential project – Client Variation documentation and Architectural drawings
- >Commercial project – Contract document for fitness facilities and RFI

VARIATION REQUEST FORM

SELLER: Latitude25 Hervey Bay

BUYER: DATE: ...16/07/20....

LOT NO:200..... Internal Scheme.....1.....

SITE ADDRESS:72 / 1 Latitude Blvd, Nikenbah Qld 4655.....

DETAILS OF WORK VARIATION(S)

ADDITION/DEDUCTION

Entry	
1. Install keypad entry to front door – Schlage Encode Smart Deadbolt [Century Trim] (Black)	\$416.90
2. Credit for standard handle and deadbolt	(\$37.45)
Internal General	
3. Install vinyl flooring – Karndean 'Pearl Oak' LLP306 loose lay, to all living areas (except wet areas)	\$12,128.60
4. Credit for standard carpet and tiles	(\$7,303.82)
5. All internal doors – Hume HAM1 throughout, in lieu of standard	\$2,420.00
6. Extend rear wall (kitchen/dining/living) by 500mm into Alfresco area (slab, roofline, overhang, gutter etc to be modified)	\$1,536.70
Kitchen	
7. Custom cabinetry (as per joinery shop drawings and specs)	\$49,528.88
8. Credit for standard kitchen joinery (scheme 1) (Total all joinery)	(\$16,465.16)
9. Remove cavity slider between kitchen and garage	(\$76.48)
10. Bulkhead to kitchen to be deeper to accommodate kitchen joinery design	\$522.72
11. Install bi-fold window (folding to the left), including fly screen, track to be rebated into stone flush between kitchen and alfresco servery, in lieu of standard (includes extra stone 40mm bulk for rebate)	\$4,067.44
12. GPOs to be relocated to suit kitchen joinery design (note: any required additional, or specialised wiring requirements for appliances will form part of another variation)	\$0.00
13. Additional dbl GPO above bench to rear wall (for coffee station)	\$104.50
14. Relocate Light and fan switch plate to other side of alfresco sliding doors (Lounge side)	\$0.00
15. Install undermount sink – Oliveri Santorini (Black) double bowl, in lieu of standard	\$674.47
	(\$481.50)
16. Install sink mixer – Dublin w/veggie #137437, in lieu of standard	\$289.26
	(\$66.80)
17. Install Dishwasher – Bosch SMU66MS02A Series 6 Under Bench, in lieu of standard	\$1,342.00
	(\$748.03)
18. Install Cooktop – Electrolux 60cm 4 Zone Induction EHI645BD, in lieu of standard	\$1,595.00
	(\$481.50)
19. Install Oven – Electrolux 60cm single Pyrolytic Oven, in lieu of standard	\$1,958.00
	(\$578.77)
20. Install Rangehood – Bosch 53cm Undermount DHL555BAM, in lieu of standard	\$737.00
	(\$267.50)
Study Nook	
21. Custom cabinetry (as per joinery shop drawings and specs)	\$7,332.60
22. Credit for standard study nook joinery	Incl item #8
23. GPO and E point to be above bench, GPO to have USB	\$63.80
Bed 1	
24. Remote fan – Banksia 48 DC (Black) #213136 no light, in lieu of standard	\$66.00
25. Double glazing to window, in lieu of standard	\$282.10
26. Acoustic insulation to all walls of Bed 1	\$504.81
27. Additional Sisalation layer to wall adjoining Living room	\$174.02
28. GPO/TV points combo (on wall backing ensuite) to be 1800 FFL	\$0.00
28. GPO - RH side bed to have USB	\$63.80

Walk in Wardrobe and Bed 2 & 3 Robes	
29. Custom shelving/hanging/drawer configuration (as per joinery shop drawings and specs)	\$4,391.95
30. Credit for standard wire configuration	(\$746.86)
Ensuite	
31. Additional Air Conditioning outlet (same zone as Bed 1)	\$370.70
32. Custom vanity (as per joinery shop drawings and specs)	\$4,991.25
33. Credit for standard vanity (cabinetry and stone top)	Incl item #8
34. Install additional downlight over shower	\$93.50
35. Delete/credit RH basin and mixer	(\$224.59)
36. Relocate GPO to near LH basin	\$0.00
37. Install shower niche – 1300mm FFL: dimensions 300mm x 610mm, in lieu of standard shelf	\$326.70
38. Install Basin mixer – Barcelona BA118506MB (Black) #159629, in lieu of standard	\$141.52
39. Install Shower head – Dual Winton w/sqr shr head (Black) #167780, in lieu of standard	\$71.73
40. Install Shower mixer – Barcelona BA120516MB (Black) #159632, in lieu of standard	\$109.08
41. Install Towel double towel rails (x2) – Edge II 785mm (Black) #156589, in lieu of standard	\$82.52
42. Install Toilet roll holder – Edge II (Black) #156586, in lieu of standard	\$11.23
43. Install Robe hooks (x2) – Ribe Edge II (Black) #156587, in lieu of standard	\$0.00
44. Delete/Credit standard towel ring	(\$55.83)
Bed 2	
45. Delete/credit high windows to side wall	(\$670.36)
46. Remote fan – Banksia 48 DC (Black) #213135 no light, in lieu of standard	\$66.00
47. Double glazing to front window, in lieu of standard	\$337.10
48. Custom shelving to robe (as per joinery shop drawings and specs)	\$962.50
49. Credit for standard wire configuration	(\$450.47)
50. Robe to have full height (floor to ceiling) swing doors – Hume HAM1 - in lieu of standard wardrobe sliders	\$814.00
51. Relocate GPO – LH side bed to wall backing ensuite – with USB	\$63.80
52. GPO – RH side of bed to be above bench	\$0.00
Bed 3	
52. Remote fan – Banksia 48 DC (Black) #213135 no light, in lieu of standard	\$66.00
53. Double glazing to front window, in lieu of standard	\$337.10
54. Custom shelving to robe (as per joinery shop drawings and specs)	\$563.75
55. Credit for standard wire configuration	(\$450.47)
56. Robe to have full height (floor to ceiling) swing doors – Hume HAM1 - in lieu of standard wardrobe sliders	\$814.00
57. GPO – RH side bed to have USB	\$63.80
Bathroom	
58. Additional Air Conditioning outlet (same zone as Bed 2 & 3)	\$370.70
59. Install cavity slider from Bed 3 – Hume HAM1	\$302.50
60. Relocate double towel rails (x2) to end of shower	\$0.00
61. Relocate robe hooks (x2) on wall backing linen	\$0.00
62. Custom vanity (as per joinery shop drawings and specs)	\$3,617.90
63. Credit for standard vanity (cabinetry and stone top)	Incl item #8
64. Install shower niche – 1300mm FFL: dimensions 300mm x 610mm, in lieu of standard shelf	\$326.70
65. Install Basin mixer – Barcelona BA118506MB (Black) #159629, in lieu of standard	\$141.52
66. Install Shower head – Dual Winton w/sqr shr head (Black) #167780, in lieu of standard	\$71.73
67. Install Shower mixer – Barcelona BA120516MB (Black) #159632, in lieu of standard	\$109.08
68. Install Towel double towel rails – Edge II 785mm (Black) #156589, in lieu of standard	\$82.52
69. Install Toilet roll holder – Edge II (Black) #156586, in lieu of standard	\$11.23
70. Install Robe hooks (x2) – Ribe Edge II (Black) #156587, in lieu of standard	\$0.00
71. Delete/Credit standard towel ring	(\$55.83)
Linen cupboard	
72. Install swing doors - Hume HAM1 - in lieu of standard sliders (HAM1 doors incl in item #5)	(\$186.18)
73. Custom shelving configuration (as per joinery shop drawings and specs)	\$808.50
74. Credit for standard wire shelving configuration	(\$165.85)
Laundry	
75. Custom cabinetry (as per joinery shop drawings and specs)	\$3,366.00
76. Credit for standard cabinets and broom cupboard shelving	Incl item #8
77. Additional tile splashback to wall behind and beside washing machine space	\$211.20
78. Relocate laundry tub to RH, next to broom cupboard	\$0.00

79. Additional GPO under bench for Front Loader washing machine	\$126.50
Lounge / Living	
80. Window (common to alfresco) to be slider (same as other living window), in lieu of standard	(\$331.70)
81. Fan - Newport 54DC with light #213170 (Antique Black), in lieu of standard	\$209.00
Alfresco	
82. Install custom outdoor kitchen cabinetry (as per joinery shop drawings and specs)	\$8,786.25
83. Install sink - Oliveri LR515 Solitaire round bowl sink, standard laundry mixer, with hot & cold water to outdoor kitchen (includes extra drainage/hot & cold water, additional Council fees).	\$763.62
84. Additional GPO under bench (for double bar fridges)	\$126.50
85. Additional GPO/TV points combo (to wall backing lounge) 1800mm FFL	\$335.50
86. Additional WP GPO (wall backing garage)	\$137.50
87. Install nib wall to end of outdoor kitchen	\$827.20
88. Square box under eave for future blind (manual use) install	\$847.00
Garage	
89. Downlights to be "Bright White", in lieu of standard	\$0.00
90. Install 2x additional downlights to front of garage above panel lift door as shown	\$211.20
91. Install 1x additional Dbl GPO RH side wall at rear	\$126.50
92. Relocate 15A GPO to LH side wall (backing Alfresco) 500mm from back wall, 1050FFL	\$0.00
93. Install 1x additional Dbl GPO 300-500mm inside RHS of garage front 1050 FFL	\$126.50
94. Install 1x additional Dbl GPO 300-500mm inside LHS of garage front 1050FFL	\$126.50
95. Install custom cabinetry to RH rear corner of garage (as per joinery shop drawings & specs)	\$5,713.13
96. Install drop in laundry tub and tap (as std per laundry) (includes extra drainage/hot & cold water, additional Council fees)	\$687.50
97. Install HWS within cabinetry (under tub) - Stiebel Eltron SHC10AU 10 litre	\$759.00
98. Relocate PA door to centre of rear wall, RH swing to open	\$0.00
99. Delete/credit fly screen to PA door	(\$281.89)
100. Relocate Light switch to beside new PA door location	\$0.00
101. Relocate Light switch from removed cavity slider to kitchen, to Laundry cavity slider entry	\$0.00
102. Install additional single GP to ceiling (location to be approx. 300mm away from hoist)	\$148.50
103. Install supports in ceiling to mount hoist (installed by owner), 2m from open garage door, 1.5m in from wall (location attached)	\$1,650.00 (estimate - weight tba)
External	
104. Relocate HWS and AC to outside Bed 2 side wall	\$0.00
105. Relocate clothesline along rear wall closer to alfresco as shown	\$0.00
ADMIN FEE - Build team estimating and administering changes (tenders, engineers & trades)	
Architectural & Hydraulic consultants re-design fee	\$1,980.00
	\$2,875.00
TOTAL PRICE (EX. GST)	\$106,342.27
GST	\$10,634.23
TOTAL PRICE (INCLUSIVE OF GST)	\$116,976.50

The Buyer accepts and agrees to pay the additional cost for the variation(s) noted above, such cost to be paid on Completion of the Agreement for Sale of the Manufactured Home for the above property.

If the Buyer does not complete the Agreement for any reason whatsoever, and any of the work for the variation(s) has been completed, the Buyer must pay immediately to the Seller the agreed amount to reimburse the Seller for the additional cost and expenses incurred by the Seller in varying the original finishes and layout to the finishes and layout requested by the Buyer.

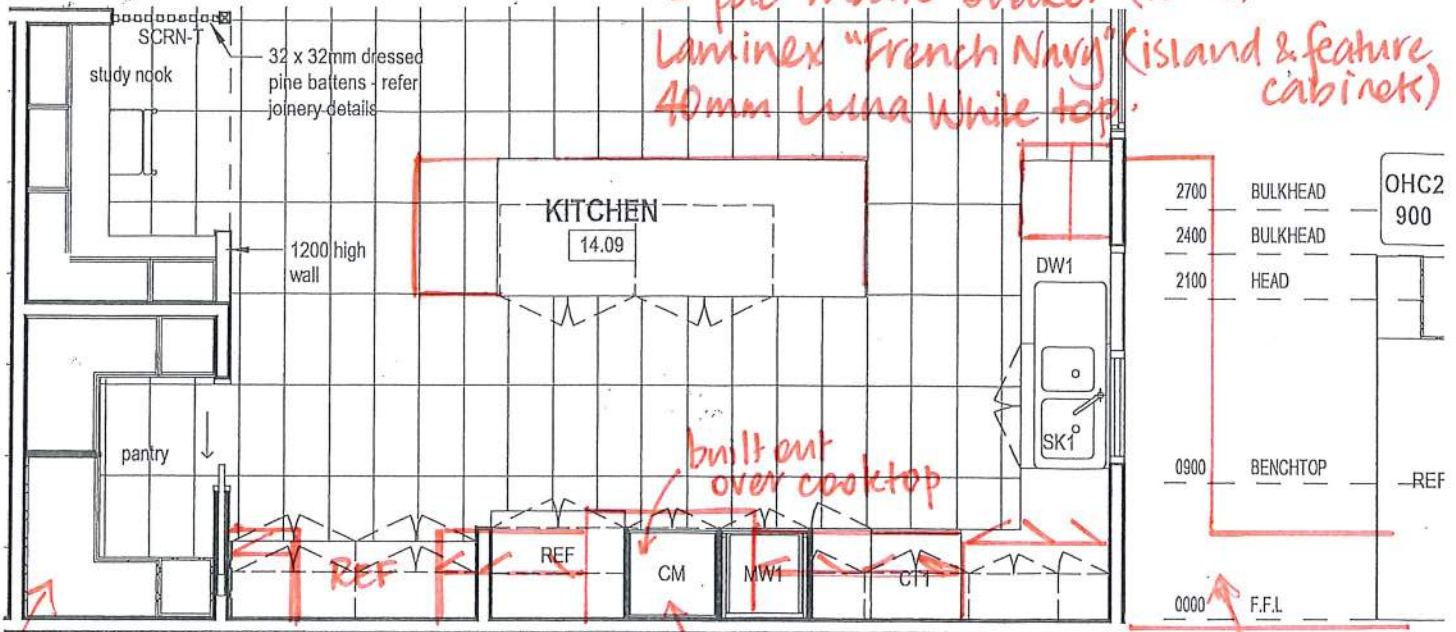
SIGNED BY THE BUYER(S):

DATE:

SIGNED BY THE SELLER:Development Manager....

DATE: 20/7/20

Kitchen - 2 pac matte Shaker (white)
Laminex "French Navy" (island & feature cabinets)
40mm Luna White top.



1 DETAIL PLAN - KITCHEN

1 : 50

REFER TO SHEET 14 FOR PANTRY DETAILS

(Based on L112 - Back wall pushed out 500mm)

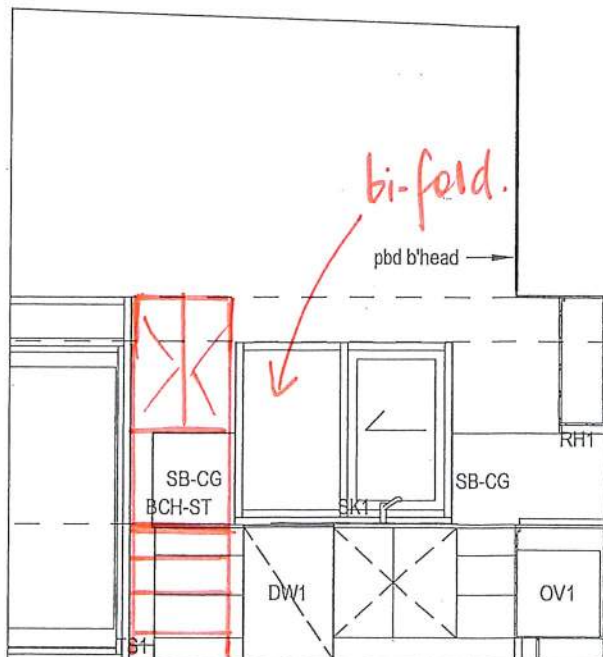
pantry as per L112 microwave in pantry)

2400 BULKHEAD

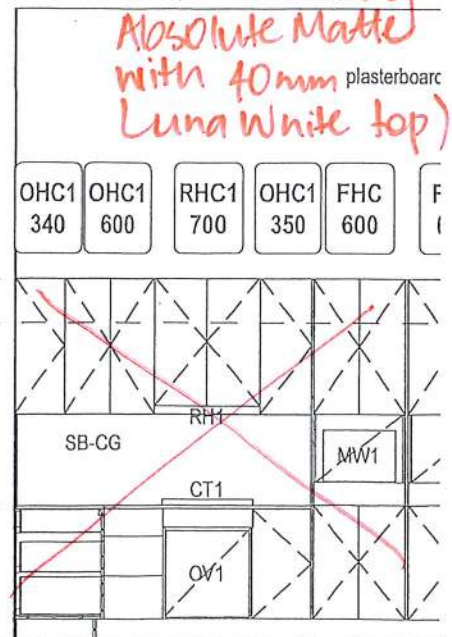
2100 HEAD

0900 BENCHTOP

0000 F.F.L.



coffee station



NOTES

REFER TO INTERIOR FINISHES SCHEDULE FOR TILE SIZE AND SELECTION
REFER TO ADOPTED JOINERY SCHEME FOR KITCHEN CABINET DOOR FINISH
REFER TO JOINERY KIT OF PARTS FOR JOINERY DETAILS

4 KITCHEN - C

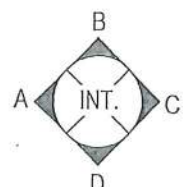
1 : 50

5 KITCHEN - D1

1 : 50

CODE	DESCRIPTION
BCH-ST	BENCH - STONE
CM	COFFEE MACHINE
CT1	COOKTOP TYPE 1
DW1	DISH WASHER TYPE 1
LAM-G	LAMINATE GABLE
MW1	MICROWAVE TYPE 1
OV1	OVEN TYPE 1

CODE	DESCRIPTION
REF	REFRIGERATOR
RH1	RANGE HOOD TYPE 1
SB-CG	SPLASHBACK - COLOURED GLASS
SK1	SINK TYPE 1
TS1	TIMBER SKIRTING TYPE 1



100

double underbench fridges

- 40mm Luna White top
- French Navy cabinets
- on legs with dura scirting

built in
BBQ



CONFIRM GARDEN DETAILS/ LAYOUT WITH SUPERINTENDENT

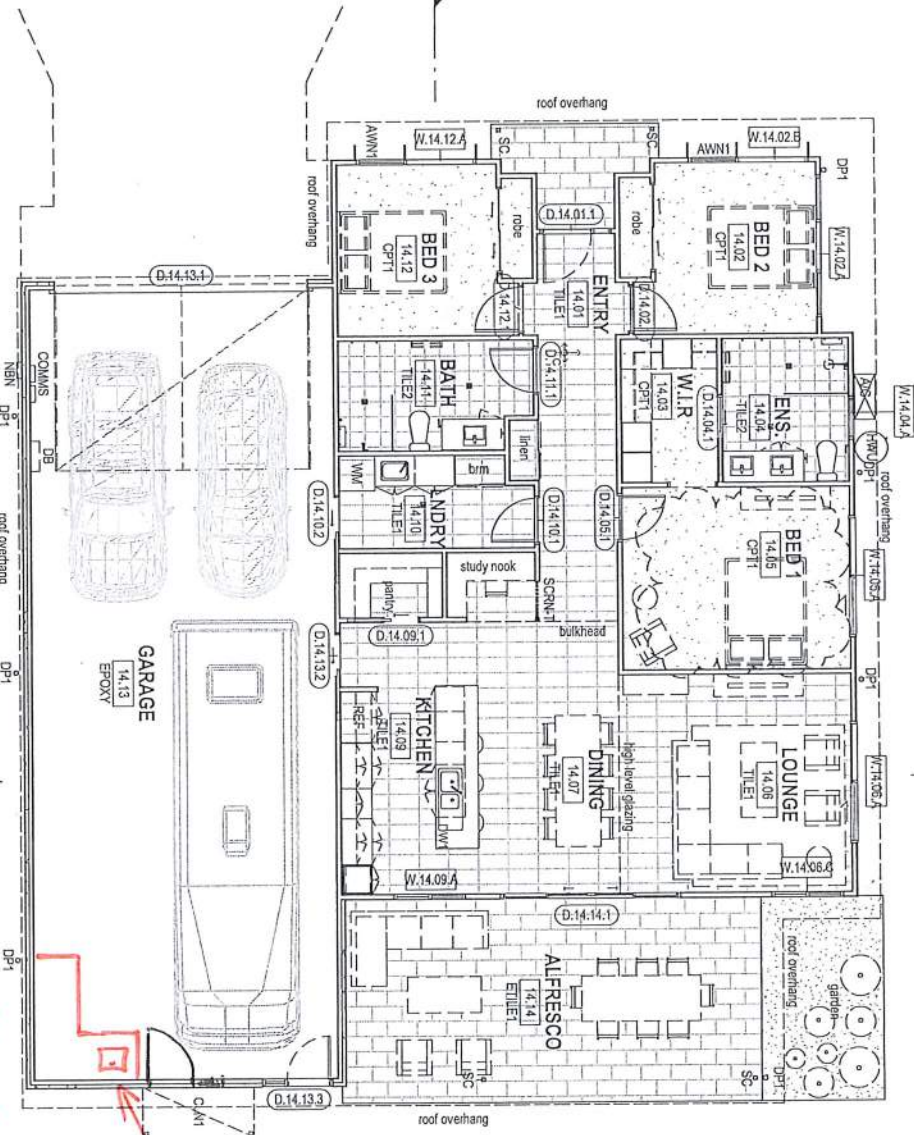
PROJ: 01217
DRAWING: SHEET 2
OF 5

LOT 200

W.14.02.2

SHEET 1A

SHEET 1B



NOTES
 REFER TO SITE SETOUT PLAN FOR LOT SETOUT.
 REFER TO LANDSCAPE ARCHITECT'S DOCUMENTATION FOR DRIVEWAY, PATH,
 ENTRY, DRIVING SLAB AND LANDSCAPE.
 REFER TO INTERIOR FINISHES SCHEDULE FOR TILE SIZE AND SELECTION
 REFER TO OUT PLANS FOR TILE SETOUT TYPICALLY - CONFORM ETILE 1 SETOUT
 PRIOR WITH SUPERINTENDENT.
 FURNITURE SHOWN DASHED - NOT INCLUDED
 CONFORM GARDEN DETAILS LAYOUT WITH SUPERINTENDENT.

CODE	DESCRIPTION
AC	AIR CONDITIONER
AWN1	AWNING TYPE 1
CLO1	CLOTHES LINE TYPE 1
COMMS	COMMS (NBN & GPON)
DB	DISTRIBUTION BOARD
DP1	DOWNPIPE TYPE 1

CODE	DESCRIPTION
DW1	DISH WASHER TYPE 1
HWU	HOT WATER UNIT
NBN	NBN CONNECTION DEVICE
REF	REFRIGERATOR
SC	STEEL COLUMN
SCRN-T	INTERNAL VERTICAL TIMBER SCREEN
WM	WASHING MACHINE

TILE SETOUT LEGEND:
 + TILE SETOUT POINT
 - NOTE

- SETOUT NOTES:
 A. STACK BOND LAYOUT WITH SQUARE TILE
 B. STACK BOND LAYOUT WITH LONG EDGE RUNNING HORIZONTALLY
 C. STACK BOND LAYOUT WITH LONG EDGE RUNNING VERTICALLY
 D. RUNNING BOND LAYOUT WITH LONG EDGE RUNNING HORIZONTALLY
 E. RUNNING BOND LAYOUT WITH LONG EDGE RUNNING VERTICALLY

*Stal laundry tub
 this under in
 cupboard -
 overheads 700mm
 above top
 concrete Formwood
 top.
 Sharknede handle.*

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**BICKERTON
 MASTERS**

CLIENT:
 NIKENBAH
 CONSTRUCTIONS

DRAWING TITLE:
 BUSSELL - FLOOR PLAN
 DATE:
 06/09/2020
 DRAWN:
 01/21/7
 CHECKED:
 01/21/7

LOT 200



1 DETAIL PLAN - BATH
1:50

3 BATH - A
1:50

4 BATH - B
1:50

5 BATH - C
1:50

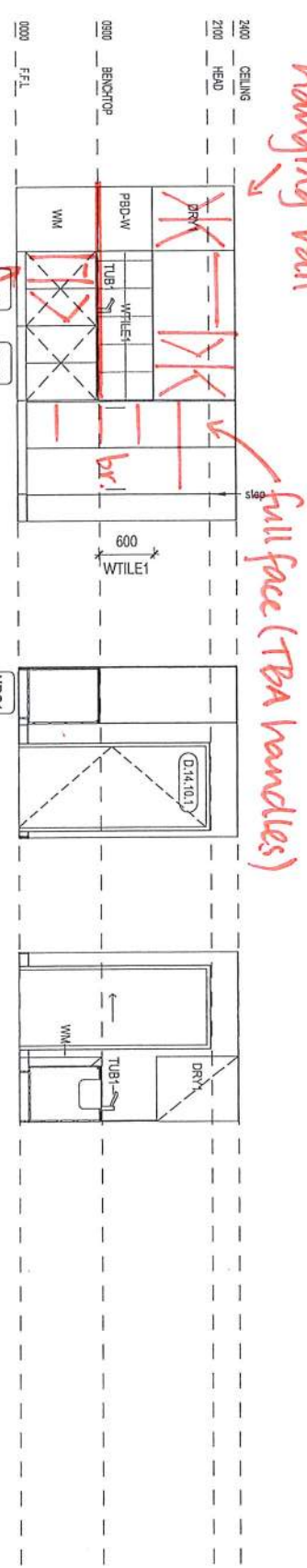
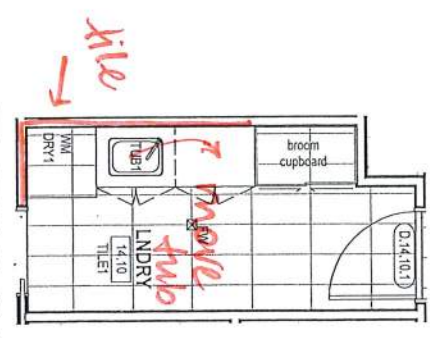
6 BATH - D
1:50

2 DETAIL PLAN - LAUNDRY
1:50

7 LAUNDRY - A
1:50

8 LAUNDRY - B
1:50

9 LAUNDRY - D
1:50



NOTES
REFER TO INTERIOR FINISHES SCHEDULE FOR TILE SIZE AND SELECTION
1. 10MM PT BRACKING (PREPARED IN STUD FRAME) OR SOLID WOODING TO FILL
EXTENT OF WALLS IN VICINITY OF SPECIFIED FITTING AND FIXTURES TO ALLOW
FOR CURRENT AND FUTURE FINISHES.
REFER TO JOINERY KIT OF PARTS FOR JOINERY DETAILS

TILE SETOUT LEGEND:
TILE SETOUT POINT
NOTE

SETOUT NOTES:
A. STACK BOND LAYOUT WITH SQUARE TILE
B. STACK BOND LAYOUT WITH LONG EDGE RUNNING HORIZONTALLY
C. STACK BOND LAYOUT WITH LONG EDGE RUNNING VERTICALLY
D. RUNNING BOND LAYOUT WITH LONG EDGE RUNNING HORIZONTALLY
E. RUNNING BOND LAYOUT WITH LONG EDGE RUNNING VERTICALLY

CODE	DESCRIPTION
CH1	COATHOOK TYPE 1
DRY1	CLOTHES DRYER TYPE 1
FW	FLOOR WASTE
HBT	HAND BASIN TYPE 1
MIR	MIRROR AS SCHEDULED
MIX	MIXER TYPE 1

CODE	DESCRIPTION
SSH	SHOWER SHELF
SHR1	SHOWER TYPE 1
SSCRN-1	FRAMELESS GLASS PANEL
TRG1	TOWEL RING TYPE 1
TRH1	TOWEL ROLL HOLDER TYPE 1
TRL1	TOWEL RAIL TYPE 1

CODE	DESCRIPTION
TUB1	TUB TYPE 1
WC1	WC-STANDARD
WMI	WASHING MACHINE
WTILE1	WALL TILE TYPE 1



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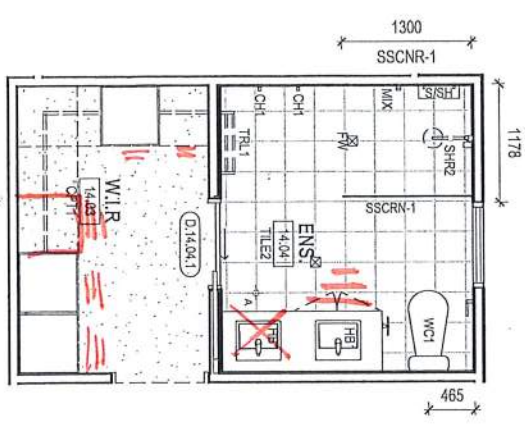


BICKERTON MASTERS

PROJECT: NIKENBAH CONSTRUCTIONS
PLANS & ELEVATIONS
DATE: 05.05.2020
DRAWN: KLL
CHECKED: SP
SCALE: As indicated
SHEET: 12

LOT 200

200



1 DETAIL PLAN - ENSUITE & W.I.R.

NOTES
REFER TO INTERIOR FINISHES SCHEDULE FOR TILE SIZE AND SELECTION
REFER TO JOINERY KIT OF PARTS FOR JOINERY DETAILS

CODE	DESCRIPTION	CODE	DESCRIPTION
CHT	COATHOOK TYPE 1	SSH	SHOWER SHELF
CRL	CLOTHES RAIL	SCRN-T	INTERNAL VERTICAL
FW	FLOOR WASTE	SCRN-T	TIMBER SCREEN
HBI	HAND BASIN TYPE 1	SHR2	SHOWER TYPE 2
MIR	MIRROR AS SCHEDULED	SSCRN-1	FRAMER ESS GLASS PANEL
MIX	MIXER TYPE 1	TRL1	TOWEL RAIL TYPE 1

CODE	DESCRIPTION	CODE	DESCRIPTION
TS1	TIMBER SKIRTING TYPE 1	WCI	WC STANDARD
WTLT1	WALL TILE TYPE 1		

TILE SETOUT LEGEND:
TILE SETOUT POINT
NOTE

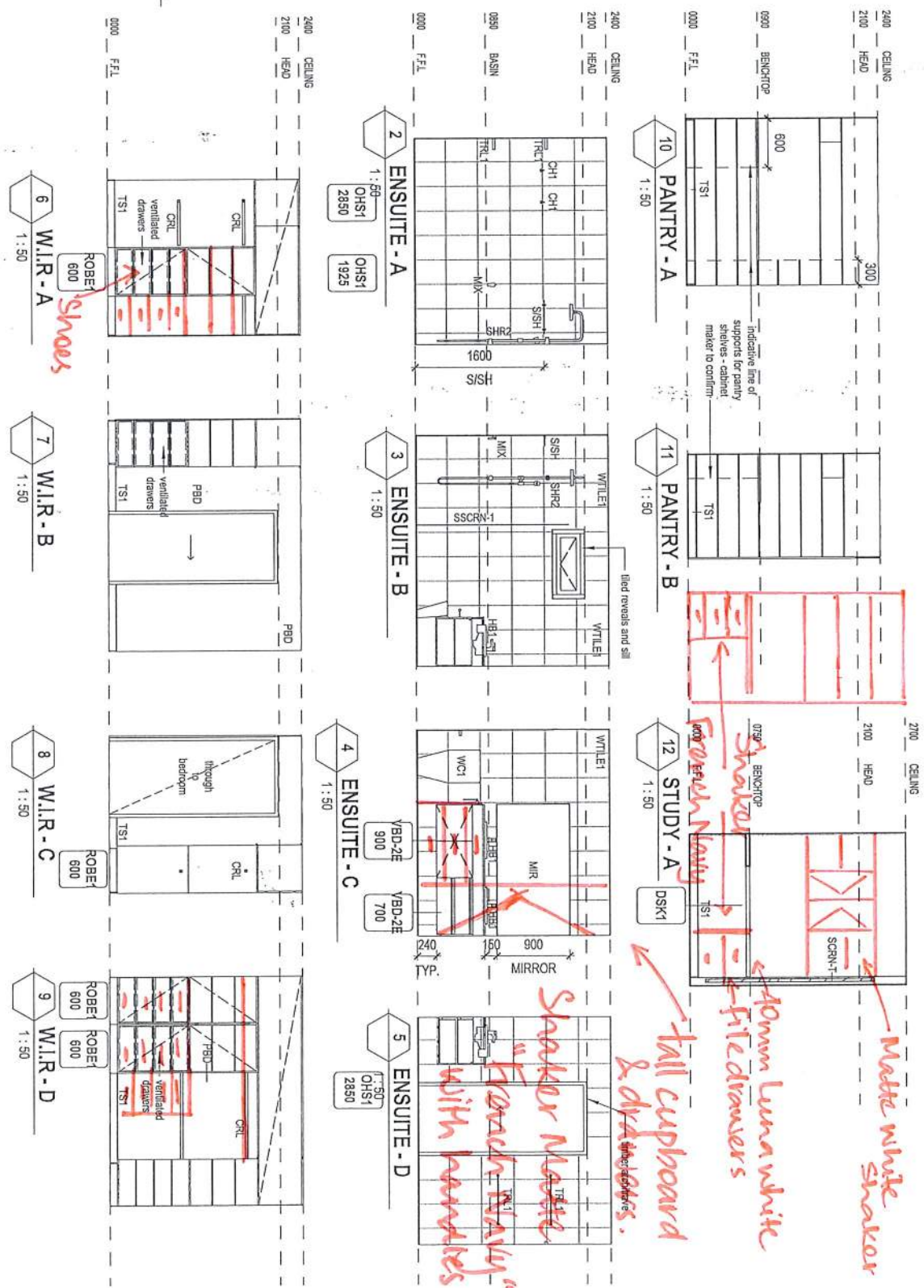


SETOUT NOTES:
A. STACK BOND LAYOUT WITH SQUARE TILE
B. STACK BOND LAYOUT WITH LONG EDGE RUNNING HORIZONTALLY
C. STACK BOND LAYOUT WITH LONG EDGE RUNNING VERTICALLY
D. RUNNING BOND LAYOUT WITH LONG EDGE RUNNING HORIZONTALLY
E. RUNNING BOND LAYOUT WITH LONG EDGE RUNNING VERTICALLY



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PROJECT:
NINEBAH CONSTRUCTIONS
DATE: 05.05.2020
DRAWN: K.L.
SCALE: As indicated
PROJECT: Latitude 25
PROJECT: 01217
DRAWING: SHEET 14
SHEET 14 SP



Matte white Shaker

40mm Luma white file drawers

tail cupboard & drawers.

Shaker Matte "French Navy" with handles.

Amended General Conditions of Contract

Formal Instrument of Agreement

Project Name: Health Hub/Wellness Centre – Latitude 25 RV Lifestyle Community

This AGREEMENT is made on the 12th day of February 2020

Between

[REDACTED] as trustee for the
[REDACTED]
[REDACTED]

(Principal)

AND

[REDACTED]
[REDACTED]

(Contractor)

Background

- A. The *Principal* wishes to engage the *Contractor* to perform the *Works* and carry out *WUC* in accordance with the requirements of this *Contract*.
- B. The *Contractor* has offered to execute the *Works* for the *contract sum* and the *Principal* has accepted that offer.
- C. The parties have agreed to perform their respective obligations on the terms of this *Contract*.

IT IS AGREED

1. Agreement

- (a) In this *Formal Instrument of Agreement*, unless the context requires otherwise, terms used have the same meaning as defined in the document *Amended AS 4902-2000 General conditions of contract for design and construct*.
- (b) The *Contractor* agrees to carry out the *WUC* in accordance with the *Contract*.

2. Contract Sum

- (a) In consideration of the *Contractor* carrying out the *WUC* in accordance with the *Contract*, the *Principal* agrees to pay the *Contractor* the *contract sum* in accordance with the *Contract*:
 - (i) The *contract sum* is [REDACTED] (exclusive of GST) which amount excludes additions and deductions that may be required to be made under this *Contract*.

Description	Procurement Type	Amount
Trade Costs	Provisional Amount	\$2,685,847.97
Preliminaries	Fixed Lump Sum	\$329,240.00
Margin	Fixed Lump Sum	\$150,804.40

- (b) The terms of the *Contract* apply to all of the work performed by the *Contractor* in connection with the *WUC* even if it was performed prior to the date of execution of the *Contract*. Any payment made to the *Contractor* by the *Principal* prior to the date of execution of the *Contract* will, be treated as a payment under the *Contract* and will be in part discharge of the *Principal's* obligations to pay the *contract sum*.

3. Site

The address of the *site* is 1 Latitude Boulevard, Nikenbah QLD 4655.

4. Contract Documents

- (a) The following documents are the *Contract Documents*:
- (i) this *Formal Instrument of Agreement*;
 - (ii) the *Amended AS 4902-2000 General conditions of contract for design and construct*;
 - (iii) Annexures to the *Amended AS 4902-2000 General conditions of contract for design and construct*, which are set out in this *Formal Instrument of Agreement*; and
 - (iv) the Schedules to this *Formal Instrument of Agreement*, which comprise the following:
 - (A) **Schedule 1: Principal's Project Requirements**
 - (B) **Schedule 2: Contractors Clarifications**
 - (C) **Schedule 3: Document Transmittal (Not limited to the following)**
 - (1) **Development Approval**
 - (2) **Operational works approvals**
 - (3) **Project design documents transmittal: Architectural, Civil, Structural, and others**
 - (4) **Sustainability, Environmental report**
 - (5) **Survey**
 - (6) **Marked up drawings**
 - (7) **Geotechnical investigations**
 - (8) **Communications**
 - (9) **Bowls**

- (10) Key System
- (11) Health Hub Fly Through
- (12) Bowls Shade Structure
- (13) Program

(D) Schedule 4: Contract

(E) Schedule 5: Schedules & Specifications

- (1) Specification
- (2) Internal & External Finishes
- (3) Metering

The parties acknowledge having received each of the documents referred to in clause 4(a).

- (b) If there is any inconsistency, ambiguity or discrepancy between the documents listed in paragraph 4(a), the inconsistency, ambiguity or discrepancy is to be resolved using the order of precedence set out in clause 4(a) (with the documents appearing earlier in clause 4(a) taking priority over the documents appearing later).
- (c) If a party discovers any inconsistency, ambiguity or discrepancy in the documents compromising this *Contract*, it must notify the other party as soon as reasonably possible.

EXECUTED on the 12th day of February 2020

EXECUTED by

[Redacted]
[Redacted]
[Redacted]
trustee for the
[Redacted]
[Redacted]

Trust in accordance with
section 127 of the
Corporations Act 2001
(Cth);


sign

Director
office (director)

[Redacted]
full name


sign

Director
office (director or secretary)

[Redacted]
full name

WS

NA.

Kylie Waldock

From: Kylie Waldock
Sent: Monday, 24 August 2020 12:33 PM
To: ~~Bernie Sainsbury~~
Cc: Latitude 25 Wellness Centre; ~~Peter Abood~~; ~~Ryan Vibe~~; ~~Ryan Williams~~
Subject: RE: Health hub
Attachments: E31_6_wellness-centre-lighting-layout (2).pdf; E30_7_wellness-centre-power-layout (7).pdf

Hi Bernie,

Please see below responses below to confirm our meeting this morning. Have also attached marked up plans.....

From: ~~Bernie Sainsbury <bernie.sainsbury@pbsbuilding.com.au>~~
Sent: Thursday, 20 August 2020 9:31 AM
To: Kylie Waldock <kylie.waldock@visitlatitude25.com.au>
Cc: Latitude 25 Wellness Centre <com-inbound-lat-25-rv-park-wellness-centre@procoretech.com>; ~~Peter Abood~~ <~~peter.abood@pbsbuilding.com.au~~>; ~~Ryan Vibe~~ <~~ryan.vibe@pbsbuilding.com.au~~>
Subject: Health hub

Kylie points below we discussed on phone. If possible could I have answers on the Electrical by lunch as sparky is on site

- wall light W10 heights **Height to be 2330mm from FFL throughout (as per the position marked on site)**
- Wall light on tile feature. Is this a typo **Wall light will be 2330mm (above tile feature – as marked on site)**
- Down lights to breeze way fixing method. Sparky suggests to use a stainless steel continery to hang down to the bottom of feature screen **Agreed to delete 2x downlights to ceiling (covered by slats) and add 1x W10 light to tenancy wall (2330mm centre wall)**
- Sauna ball in your court. Pete said we r waiting for site off on option **We are awaiting option/s from PBS for review – Peter/Ryan please send through**
- Carpet is it fully signed off? **Confirmed by email Fri 21/08**
- Tiles were u aware that some have been discontinued **Peter to confirm**

Tks ~~Bernie~~

TV Locations – have reviewed and advise locations as attached..