

CPCCBC4029B

APPLY CONSTRUCTION INFORMATION TO THE SALES PROCESS

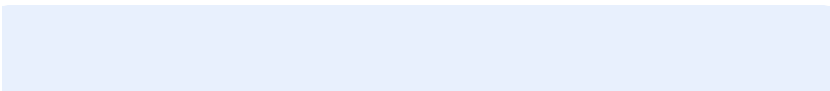
THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances. Answers will be documented and FT003 (Oral examination declaration form) must be completed.
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- If a participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a participant changes their response in writing, they must put their initials next to the written change.
 - If a participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name Courtney Stallard

Participant signature 

Assessor name _____

Assessor signature 

Date 20/02/2019

Number of questions	Number of questions answered correctly	Satisfactory?	
		Yes	No
18		☐	☐

ASSESSOR COMMENTS

Q1. Outline the circumstances in which a building licence must be obtained before carrying out building work.

Answer

In Queensland, individuals and companies must hold a QBCC licence to carry out:

- Any building work valued over \$3,300
- Building work valued over \$1,100 where it involves Hydraulic Services Design
- Building work of any value where it involves:
 - Drainage
 - Plumbing and Drainage
 - Gas Fitting
 - Termite Management – Chemical
 - Fire Protection
 - Completed Residential Building Inspection
 - Building Design – Low Rise, Medium Rise and Open
 - Site Classification



Q2. Describe the steps involved in organising electricity supply to site. Provide approximate timeframes for this process.

Answer

- Your electrical contractor will be able to advise if supply is available
 - Should the premise not have supply available, the electrical contractor can complete an enquiry on the client's behalf
 - The Distribution Network Service Provider (e.g. Energex) will conduct the necessary network investigations and provide an indicative estimate of potential costs and timeframes for the client to make an informed decision within 20 business days
- If there is supply available, the electrical contractor will need to enter into a Network Connection Agreement with the Distribution Network Service Provider
 - If the application is not expedited (e.g. by agreeing to the Model Terms and Conditions for Deemed Standard Connection Contracts), the Distribution Network will advise of a Network Connection Offer within 10 business days
- After agreeing to the connection offer, the electrical contractor will prepare the premises for connection
 - The electrical contractor will submit an Electrical Work Request (EWR) to the Distribution Network Service Provider once the work is complete
 - A copy of the EWR will be sent to the client's preferred electricity retailer
- Once all forms are received, the Distribution Network Service Provider will visit the premises to perform the requested work
 - The Distribution Network Service Provider must adhere to timeframes for new connections (e.g. Energex will attend the property within 5 business days)





Q3. True or False (Tick your response): Staged approval is one type of approval that may be sought for the building approval stage.

Answer

☒	True
☐	False

Q4. True or False (Tick your response): Building provision approvals are issued by the local government (e.g. Brisbane City Council).

Answer

☒	True
☐	False

Q5. Describe the steps involved in organising water supply to site. Provide approximate timeframes for this process.

Answer

- If you would like to connect or disconnect from the water and sewerage network or alter network infrastructure, you need to submit a Water Approval application
 - In South East Queensland, this application is submitted to Queensland Urban Utilities
 - The [Water Approval Process](#) works in conjunction with the Council development assessment process, and applications do not need to be submitted at the same time
- Water and sewerage connection approvals are customised for all scales of development from a new house to a large factory or multi-stage residential sub-division
 - Where developers are proposing to connect to our water and sewerage services, councils will require evidence that a connection is available
 - Generally the evidence required, and therefore the relative timing of the two approvals, will depend on the complexity of the proposed development and the likely availability of services
 - [Standard connections](#) for simple residential developments are usually completed within five (5) days



Q6. Which section of the National Construction Code outlines the energy efficiency requirements?

Answer

Volume 1: Part 3.12 and Volume 2: Section 2.6



Q7. Describe the long-term benefits of sustainable building solutions. List one (1) environmental benefit and one (1) benefit for the client.

Answer

Topics	Definition
Environmental benefit	By using recycled materials or timber sourced from sustainable sources, we can reduce the environmental impact and the resources consumed in manufacturing. By sourcing building materials and trade labour locally, the pollution caused by travel is reduced.
Client benefit	By utilising passive heating & cooling techniques through insulation, double glazing, orientation, and external colours, the client will see drastic savings in their electricity bills.

☐

Q8. Match the insurance types and definitions by writing the appropriate letter next to each number in the centre column.

Answer

Insurances		Answers	Definition	
1	Builder's All Risk	1 -B	A	Covers personal injury or property damage.
2	Indemnity	2 -C	B	Covers accidental risks of physical loss or damage during construction, third party liabilities and advance loss of profits.
3	Public Liability	3 -A	C	Covers costs where a contractor has caused building errors or omissions.
4	Workers' Compensation	4 -D	D	Covers death, injury or illness of employees.

☐

Q9. True or False (Tick your response): Insurance should be taken out by the contractor prior to starting construction.

Answer

☒	True
☐	False

☐

Q10. Select and describe five (5) trades involved in the construction process.

Answer

Trade	Description
Electrician	Arranges electricity to be connected; places wiring for lighting and power cables; Fixes switches, installs power points, wires electrical systems.
Plumber	Organises water supply; installs pipes and drains; installs roof and guttering; fits taps, hot water systems and toilets; ensures that downpipes are fitted and the sewer is connected.
Carpenter	Installs flooring, wall frames, roof trusses, windows, external doors and frames, decking and steps; attends to joinery and mouldings.
Bricklayer	Installs brick base (sub-base brickwork, dwarf walls and piers); installs walls.
Tiler	Completes wall and floor tiling.



Q11. Order the following steps from 1 to 10 to identify an appropriate construction sequence.

Answer

Step Number	Steps
3	Floor frame
5	Windows and external door frames
7	Wall insulation
1	Set out
9	Painting
6	Electrical wiring
2	Plumbing of waste pipes
8	Internal linings
10	Landscaping
4	Wall frames



Q12. For each of the main stages of construction listed below, identify the main trades involved and an approximate duration of each stage for a standard.

Answer

Stage	Description	
1: Clearing of the site	Trades	Soil Tester Tree Remover - Clearing Excavator – Site Cut & level
	Duration	Varies
2: Slab or base stage	Trades	Surveyor – Set-out Plumber – Under Slab Drainage Concretor – Slab Pest Control – Termite Barrier
	Duration	1-2 weeks
3: Frame stage	Trades	Carpenter – Frame & Insulation Plumber – First Fix Electrician – First Fix Roofers – Roof & Gutters
	Duration	3-4 weeks
4: Lockup stage	Trades	Window/Door Installer Bricklayer – External walls Plasterer – Internal Walls Plumber – Second Fix Electrician – Second Fix Cabinetmaker – Kitchen/Bathroom/Laundry joinery
	Duration	4 weeks
5: Fit-out or fixing stage	Trades	Plumber – Final Fit-off Electrician – Final Fit-off Plasterer - Cornices Tiler - Tiling Carpenter – Architraves & Skiting
	Duration	5-6 weeks
6: Practical completion stage	Trades	Painter Cleaner All other trades that need to finish off
	Duration	7-8 weeks



Q13. Identify five (5) factors that can affect the duration of each construction stage.

Answer

- Project size
- project function
- height of the building
- building complexity
- quality requirements (e.g. appearance, finishes)
- location



Q14. Describe how each of the following factors can affect construction times.

Answer

Factor	Effect
Changed conditions	If the requirements of the job are altered, this will change the initially projected timeframes, especially where additional materials and labour must be organised.
Labour availability	The construction process sequence is very important when organising the required labour. For example, a plasterer should only be organised after all other trades have performed their tasks correctly – electricians and plumbers will not be able to access behind the walls as easily once the plasterer has put them up.
Material availability	You must liaise with sub-contractors and suppliers to ensure materials are delivered when the sub-contractor is ready to complete their work. Materials that are rare or difficult to source should be ordered well in advance.
Weather	Weather will affect the ability of trades to complete their jobs on time.



Q15. Describe the site establishment requirements for each of the points listed.

Answer

Requirement	Description
Earthworks	Contact Dial Before You Dig before undertaking any excavation to ensure that services will not be damaged during construction.
Electricity	Electricity may need to be disconnected from work zones prior to construction and temporary utilities installed for the duration of the construction process.
Neighbours	Provide advance notice to neighbours of intended start dates and site contact numbers.
Waste disposal	Set up a designated area for rubbish bins and waste removal. Check if permits are required to place bins on the street.
Water connection	Book in a plumber to perform any required disconnections prior to any demolition taking place.



Q16. Identify the section of the *Work Health and Safety Regulations* that outlines the site establishment requirements listed.

Answer

Regulation section	Requirement
Section 40	The layout of the work area must allow for persons to enter, exit and move about without risk to health and safety
Section 41	Adequate facilities must be provided for workers, including toilets, drinking water, washing facilities and eating facilities.
Section 308	A principal contractor for a construction project must install signs outside the work area that shows their name and telephone contact numbers and site office address.



Q17. True or False (Tick your response): The owner is able to access the site at any time.

Answer

☐	True
☒	False

☐

Q18. Which of the following parties should the client contact to access the site? Tick all that apply.

Answer

Choice	Possible Answers
☒	Contractor
☐	Local Government
☐	Industry Regulator (e.g. Queensland Building and Construction Commission)
☐	Subcontractors

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