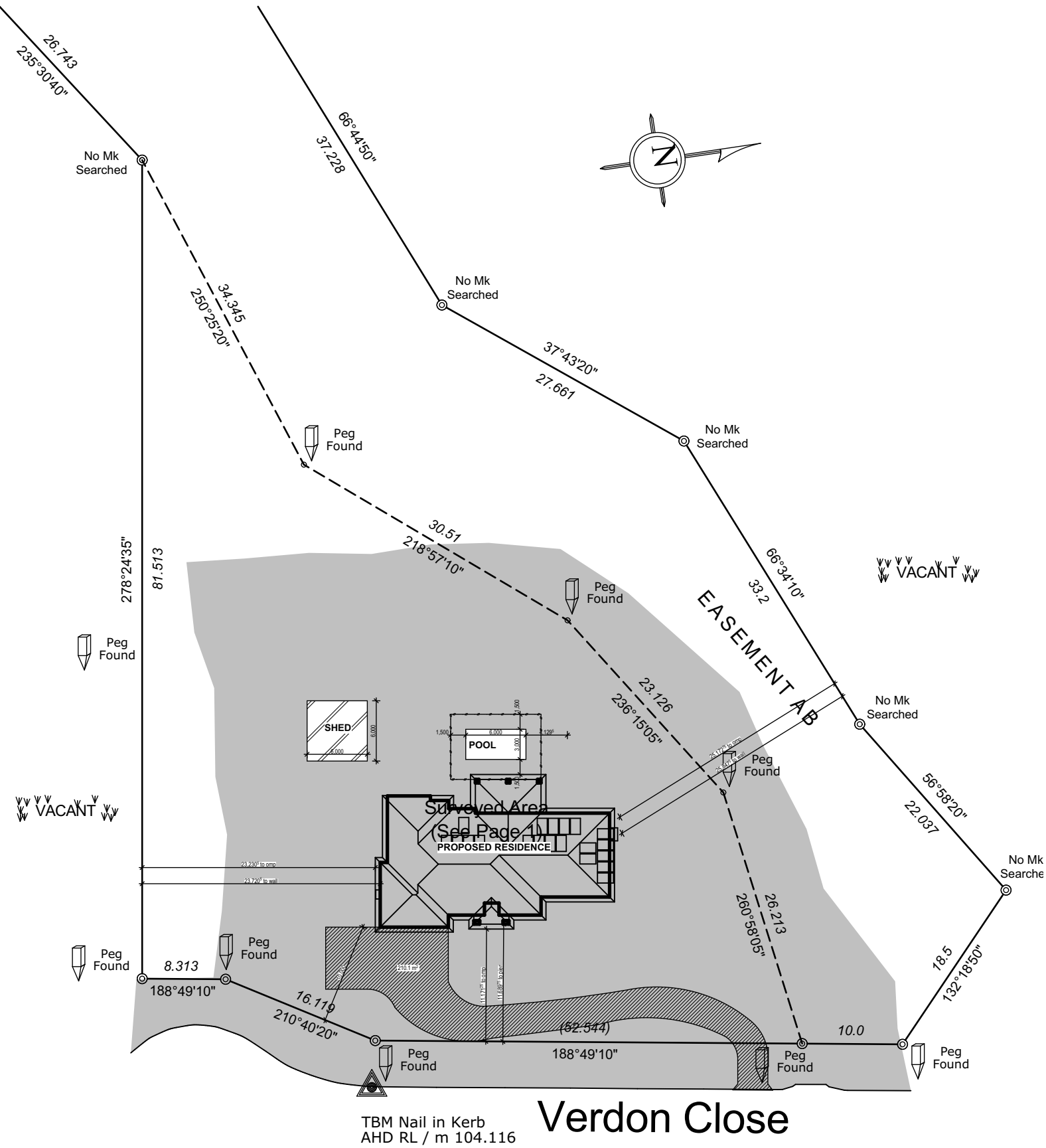




OVERALL SITE PLAN
SCALE 1 : 500

 STROUDHOMES Feels like home Stroud Homes Pty Ltd ABN: 49 107 897 736 QBSA Lic No: 1083367 <table><tr><td>PO Box 192 Jimboomba Queensland 4280</td><td>128 Melrose Pl New Beith Queensland 4124</td><td>Telephone: 07 5540 3949 Fax: 07 5540 3090</td></tr></table>	PO Box 192 Jimboomba Queensland 4280	128 Melrose Pl New Beith Queensland 4124	Telephone: 07 5540 3949 Fax: 07 5540 3090	NOTES - Written dimensions take precedence over scale. - Builder to verify all dimensions and levels prior to commencement of construction. - All internal dimensions stated are frame size - excluding linings. - This building has been designed in accordance with AS 1684.2 - 2006 (Residential timber framed construction). - Supplier may substitute lintels for those of equal strength to span ratio. - All structural sizes to be read in-conjunction with structural engineers drawings & details. - Articulation joints to comply with 3.3.1.8 BCA Vol 2. - Mechanical Ventilation to comply with 3.8.5 Bca Vol 2. - Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in)	- Protection against subterranean termites shall be in accordance with AS 3660-Pt 1 2001. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations. - HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC pt 29, AS/NZs 6400:2005. - Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, 'Sustainable Buildings' QDC pt 29 & 25 AS/Nzs 300.1.2003 AS/NZS 6400:2005. - Lift off hinges to all WC doors to comply with Australian Standards. - Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2. - DCP & flashings to comply with Pt 3.3.4 BCA Vol 2	PLAN LEGEND <table><tr><td>af = above floor level</td><td>ref = refrigerator prov.</td></tr><tr><td>hd = head at 2100 afl.</td><td>mw = microwave prov.</td></tr><tr><td>fw = floor waste</td><td>dw = dishwasher prov.</td></tr><tr><td>☼ = smoke detector</td><td>ply = pantry</td></tr><tr><td>vb = vanity basin</td><td>wm = washing machine prov.</td></tr><tr><td>obs = obscure glazing</td><td>ghw = gas hot water unit</td></tr><tr><td>mb = meter box</td><td>tr = towel Rail</td></tr><tr><td>dp = downpipe</td><td>trh = toilet Roll Holder</td></tr><tr><td>ohc = overhead cupboard</td><td></td></tr></table>	af = above floor level	ref = refrigerator prov.	hd = head at 2100 afl.	mw = microwave prov.	fw = floor waste	dw = dishwasher prov.	☼ = smoke detector	ply = pantry	vb = vanity basin	wm = washing machine prov.	obs = obscure glazing	ghw = gas hot water unit	mb = meter box	tr = towel Rail	dp = downpipe	trh = toilet Roll Holder	ohc = overhead cupboard		PLEASE READ CAREFULLY THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. TJE CPE OWNER/S _____ DS _____ WITNESS _____ <i>TJE</i> _____ DATE _____	<table><tr><td colspan="2">CLIENT: T. & C. EARLY Lot 33 Verdon Close WOODHILL</td></tr><tr><td>MODEL: Kentucky 260 Classic</td><td>JOB No. 21L033VE</td></tr><tr><td>ISSUE/DATE: PRELIM ISSUE 4 : 05/02/21</td><td>SHEET No. 1 OF 07</td></tr></table>	CLIENT: T. & C. EARLY Lot 33 Verdon Close WOODHILL		MODEL: Kentucky 260 Classic	JOB No. 21L033VE	ISSUE/DATE: PRELIM ISSUE 4 : 05/02/21	SHEET No. 1 OF 07
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SITE NOTES

1. Written dimensions take precedence over scale.
2. Builder to verify all boundary clearances and site set-out dimensions prior to commencement of construction.
3. Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
4. This site plan is based on a disclosure plan. Therefore the floor level is subject to change. Additional site survey must be taken to confirm the required bench level.
5. Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified prior to building approval. Retaining walls are closer than 1500mm from boundary require a building relaxation. (fill side only).
6. Batters to comply with appropriate soil classification described in table 3.1.1.1 BCA Vol 2.
7. Engineer to provide design to address footings if built in close proximity to sewer, stormwater or easements.
8. Vehicular cross-over to be constructed as per local council requirements and/or approval.

SERVICES

1. Services have been plotted from records of relevant authorities where available. Prior to any excavation or construction on site, the relevant authority should be contacted for possible location of further underground services.
2. All household sewerage and waste to be discharged to sewer system.
3. Stormwater & roof water to be connected to legal point of discharge in accordance with Pt 3 BCA Vol 2 and local authorities requirements. Approval to be obtained from local authority prior to work commencing.
4. Grade soil away from perimeter of building to prevent ponding. 1:20 minimum fall. Surface water to be channelled to legal point of discharge, ie. yard gully grate or similar.
5. Provide 1:20 ground surface fall towards gully pits. Final location of pits subject to change to suit site conditions. Contractor to check with site supervisor before commencing work.

GENERAL NOTES

1. Scrape away vegetation & cut & fill to provide a level building platform.
2. Floor slab to be in accordance with engineers drawings & details.
3. Termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1-2000.
4. This site plan is transcription of the original contour survey & the builder is to verify all information contained hereon prior to site start.
5. The driveway & path shown on the plan is the suggested layout - areas shown on plan.

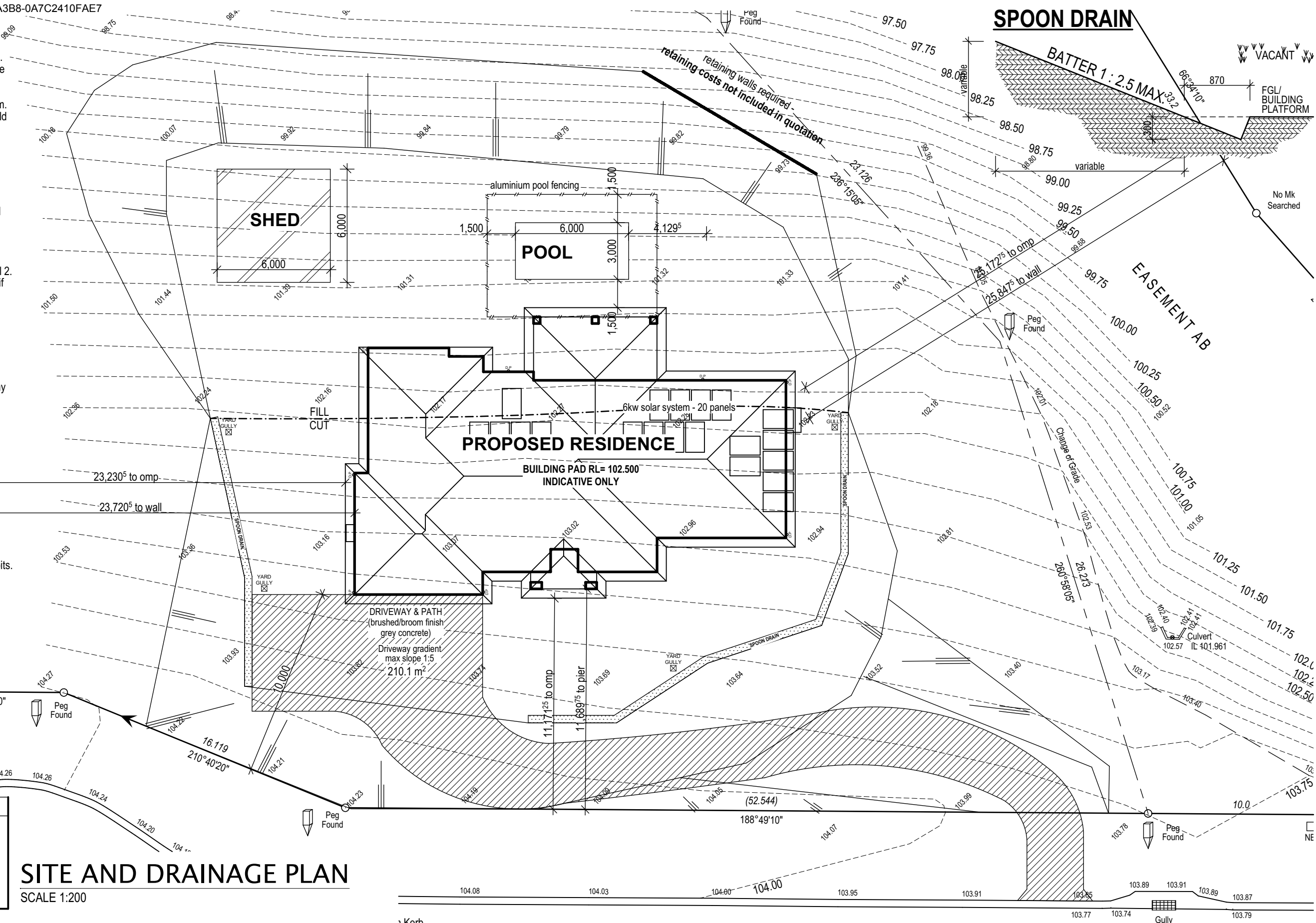
SITE DESCRIPTION/DATA

LOT : 33 on SP.311905
PARISH : NA
COUNTY : NA
AUTHORITY : Logan C.C.

AREA = 5573 sq.m
SITE COVERAGE 4.66 %

SITE AND DRAINAGE PLAN

SCALE 1:200



Stroud Homes Pty Ltd
ABN: 49 107 897 736 QBSA Lic No: 1083367

PO Box 192 128 Melrose Pl Telephone:
Jimboomba New Beith 07 5540 3949
Queensland Queensland Fax:
4280 4124 07 5540 3090

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OWNER/S _____

WITNESS _____ DS _____ DATE _____

CLIENT:

T. & C. EARLY

**Lot 33 Verdon Close
WOODHILL**

MODEL: _____

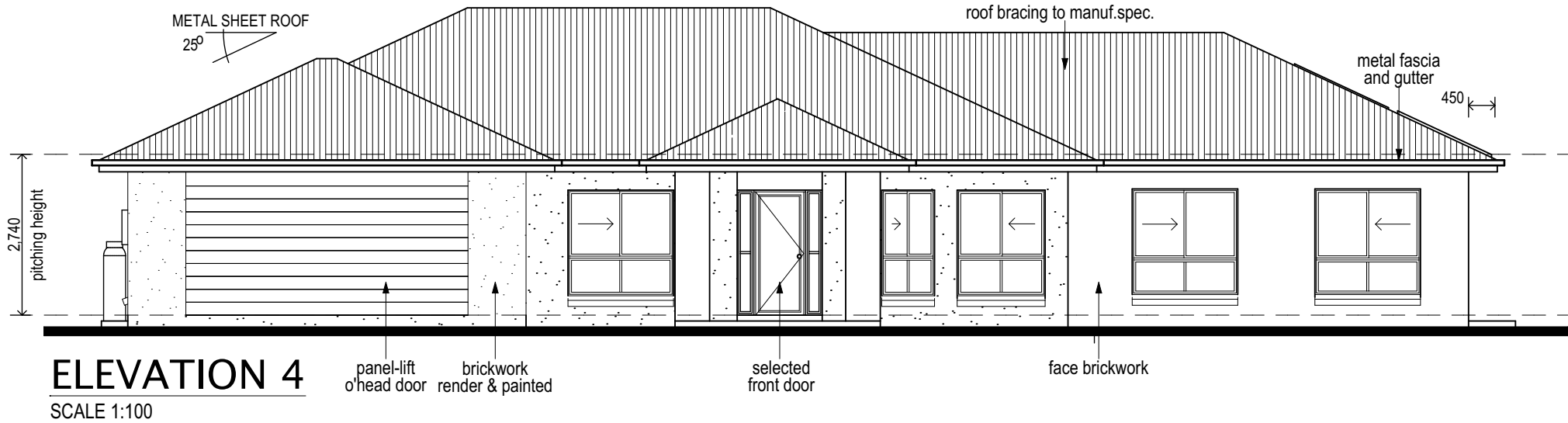
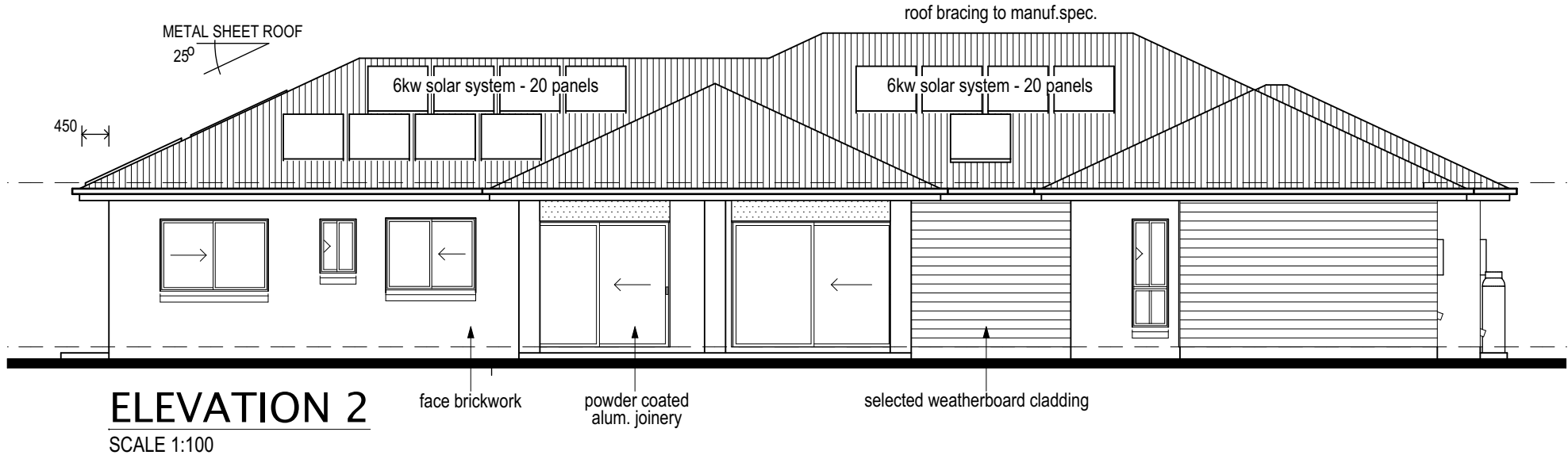
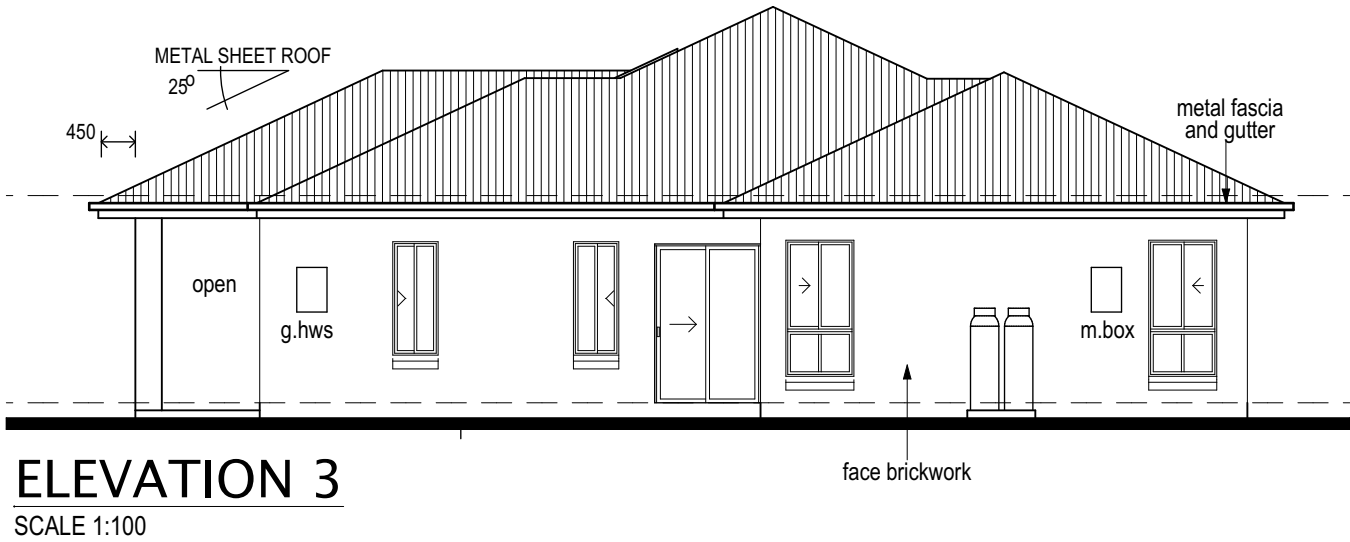
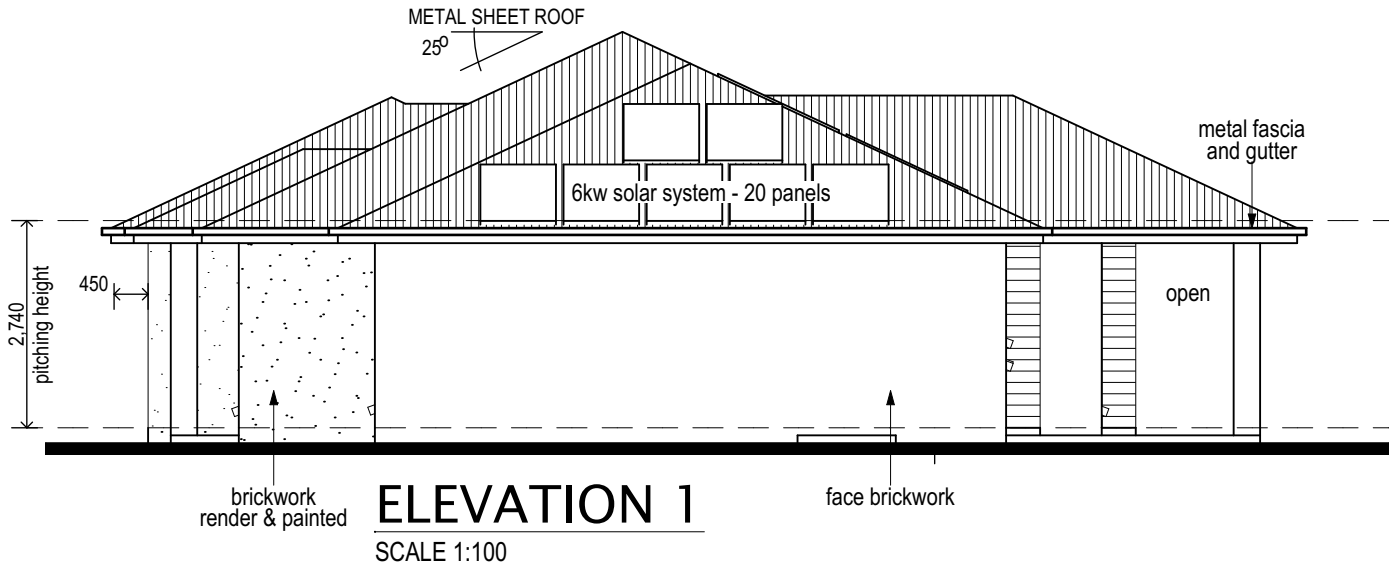
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JOB 211033VE

SHEET

2 OF 07



Stroud Homes Pty Ltd
ABN: 49 107 897 736 QBSA Lic No: 1083367

PO Box 192
Jimboomba
Queensland
4280

128 Melrose Pl
New Beith
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WITNESS _____ DS _____ DATE _____

CLIENT:

T. & C. EARLY

Lot 33 Verdon Close
WOODHILL

MODEL:
Kentucky 260 Classic

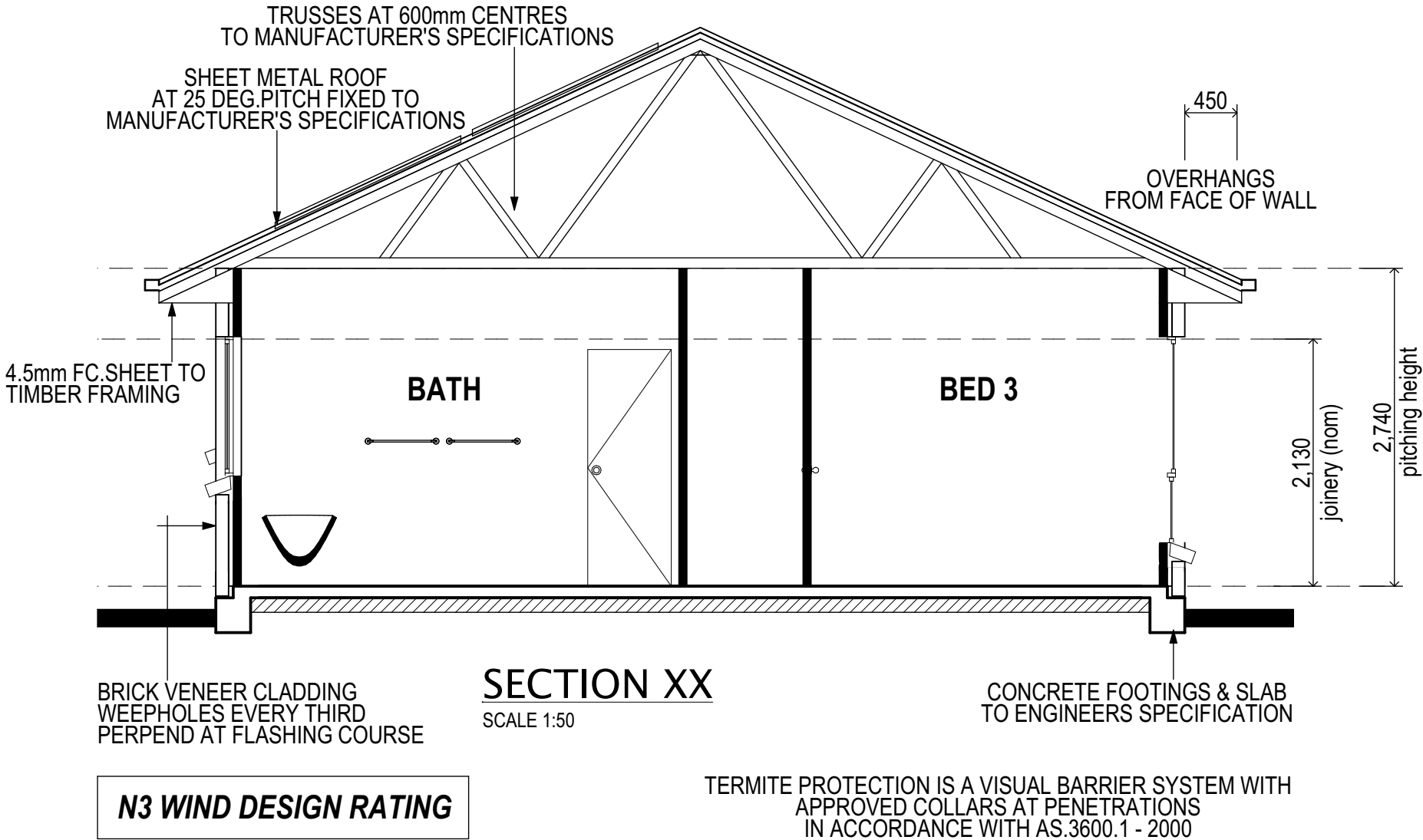
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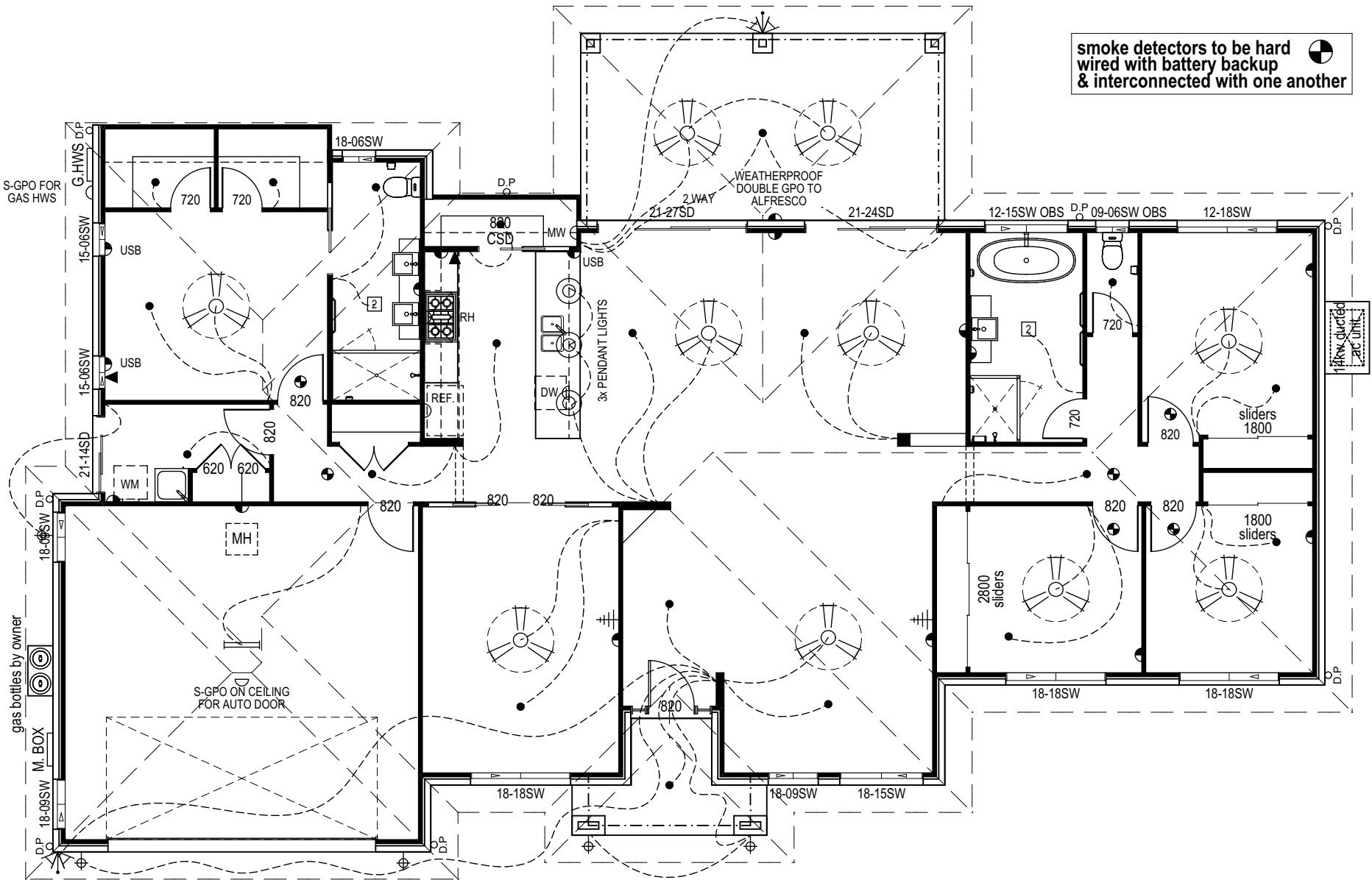
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SHEET No.

4 OF 07



STROUDHOMES Feels like home Stroud Homes Pty Ltd ABN: 49 107 897 736 QBSA Lic No: 1083367 PO Box 192 Jimboomba Queensland 4280 128 Melrose Pl New Beith Queensland 4124 Telephone: 07 5540 3949 Fax: 07 5540 3090	NOTES 1. Written dimensions take precedence over scale. 2. Builder to verify all dimensions and levels prior to commencement of construction. 3. All internal dimensions stated are frame size - excluding linings. 4. This building has been designed in accordance with AS 1684.2 - 2006 (Residential timber framed construction). 5. Supplier may substitute lintels for those of equal strength to span ratio. 6. All structural sizes to be read in-conjunction with structural engineers drawings & details. 7. Articulation joints to comply with 3.3.1.8 BCA Vol 2. 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2. 9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in) 10. Protection against subterranean termites shall be in accordance with AS 3660-Pt 1 2001. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations. 11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC pt 29, AS/NZs 6400:2005. 12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, 'Sustainable Buildings' QDC pt 29 & 25 AS/Nzs 300.1.2003 AS/NZS 6400:2005. 13. Lift off hinges to all WC doors to comply with Australian Standards. 14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2. 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2			PLAN LEGEND afl = above floor level hd = head at 2100 afl. fw = floor waste  = smoke detector vb = vanity basin obs = obscure glazing mb = meter box dp = downpipe ohc = overhead cupboard ref = refrigerator prov. mw = microwave prov. dw = dishwasher prov. ply = pantry wm = washing machine prov. ghw = gas hot water unit tr = towel Rail trh = toilet Roll Holder		PLEASE READ CAREFULLY THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. TJE CPE OWNER/S WITNESS DATE		CLIENT: T. & C. EARLY Lot 33 Verdon Close WOODHILL		MODEL: Kentucky 260 Classic ISSUE/DATE: PRELIM ISSUE 4 : 05/02/21	JOB No. 21L033VE SHEET No. 5 OF 07
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ELECTRICAL LEGEND

CODE	TYPE
	SINGLE POWER POINT (GPO)
	DOUBLE POWER POINT (GPO)
	CEILING LIGHT POINT
	100mm DOWN LIGHT POINT
	LED DOWN LIGHT POINT
	CEILING CIRC FLURO LIGHT POINT
	OYSTER LIGHT POINT 300 - 400
	SMOKE DETECTOR
	WALL LIGHT POINT
	PHONE POINT
	TV POINT
	CEILING EXHAUST FAN
	2 HEATER LIGHT FAN
	4 HEATER LIGHT FAN
	SINGLE STRIP FLURO
	DOUBLE STRIP FLURO
	BUNKER LIGHT
	PARA FLOOD LIGHT
	SENSOR LIGHT UNIT
	DAZ WALL LIGHT
	DATA POINT
	CEILING FAN
	CEILING FAN LIGHT

- LIGHT SWITCHES AT 1150mm ABOVE FL
- WALL MOUNTED LIGHTS AT 1800 ABOVE FL
- POWER OUTLETS AT 300mm ABOVE FL
(EXCEPT FOR THE FOLLOWING)

1500 - REFRIGERATOR (REF) 1000 - VANITIES
1800 - MICROWAVE (MW) 1000 - LAUNDRY BENCH
1800 - RANGEHOOD (RH) 1500 - WASHING MACHINE
1100 - KITCHEN BENCH 600 - DISHWASHER (DW)
1000 - GARAGE DGPO

ELECTRICAL PLAN

SCALE 1:100

STANDARD INCLUSION

1 x DOUBLE POWER POINT
WITH USB CHARGER



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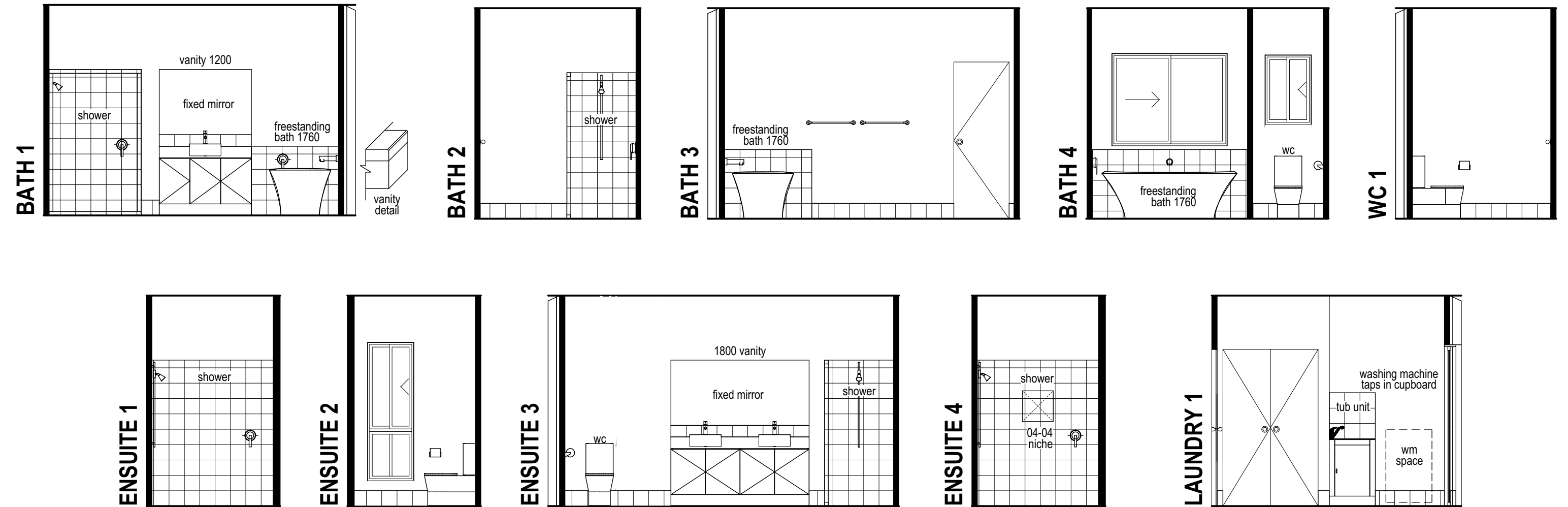
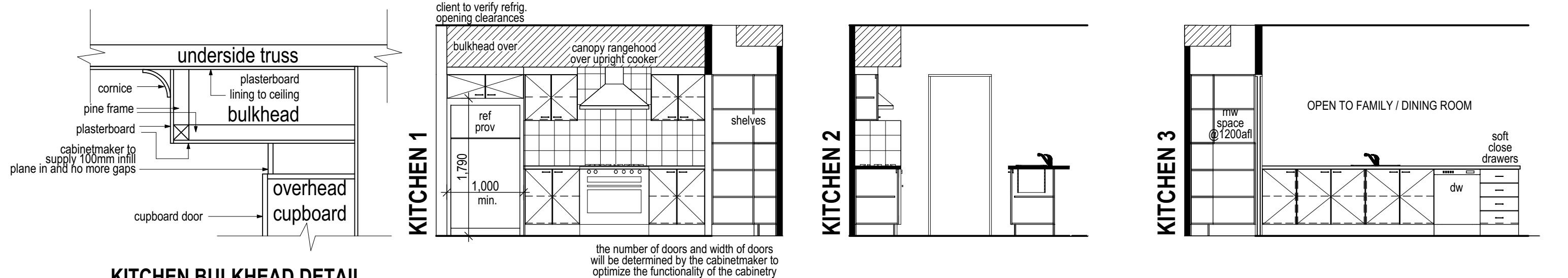
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MODEL: Kentucky 260 Classic	JOB No. 21L033VE
ISSUE/DATE: PRELIM ISSUE 4 : 05/02/21	SHEET No. 7 OF 07