

Client:

Emily Zambrano

Site Address: LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

Design Name: MOD. WILDFLOWER 216

Layout Sheet	
A0.1	Cover Sheet
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A0.3	Floor Plan
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"THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS, QUOTE AND BUILDING CONTRACT. IF ITEMS ARE NOT STATED IN ANY OF THESE DOCUMENTS, IT IS NOT INCLUDED IN YOUR BUILD."

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Notes:
UPGRADE ITEMS SHOWN IN RED
Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction



Madden Developments Pty Ltd
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107 Sugar Road Maroochydore QLD 4558,
Phone: 07 5444 2521
Email: scadmin@stroudhomes.com.au

Client:
Emily Zambrano
Project:
LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

Drawing name:
Cover Sheet
Project status:
CONSTRUCTION
Design: MOD. WILDFLOWER 216 Proj. No. 32ASPECT



REVISION		R2
CONSTRUCTION PLAN SET		22/03/22
R1 MARK UPS		12/04/22
R2 MARK UPS		16/05/22

Wind class:	N3 TBC	Flood level:	TBC
Soil class:	H2 TBC	BAL:	TBC
Plot date:	16/05/2022		

Scale:
@A3
A0.1

Copyright Design 1, HOMES BY STROUD HOMES 16/05/2022 LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518 PLAN SET 22/03/22

1. Should there be any variance in soil conditions to the soil report, consult the engineer.
2. Ground to fall away at a minimum 1:20 for 1000mm, immediately at the dwelling, and directed to a yard gully to prevent ponding and discharged via 90mm separate PVC line & to the legal point of discharge to the satisfaction of the relevant authority.
3. All surface vegetation to be removed from the building pad.
4. Should any tree stumps, rock floaters or similar interfere with the footings, they should be removed and footings to be founded on undisturbed foundation material.

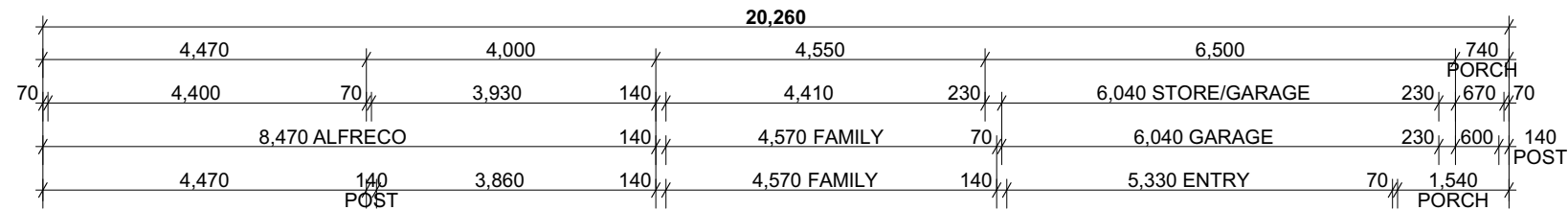
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	YARD GULLY
	ROOF WATER DRAINAGE
	KERB ADAPTER
	ELECTRICAL METER BOX
	ELECTRIC HOT WATER SERVICE
	GAS HOT WATER SERVICE
	AIR CONDITIONING UNIT
	HOSE COCKS
	WATER METER
	GAS BOTTLES
	FIRE HYDRANT
	SLEEPER RETAINING WALL (BY CLIENT)
	EXISTING RETAINING WALL
	EXISTING SPOT LEVEL
	POWER BOX

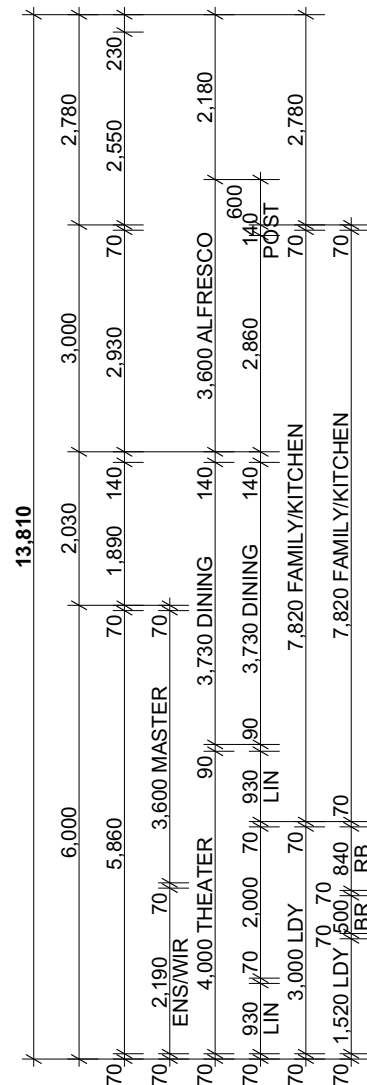
-CONSTRUCT DRIVEWAY IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS
-CONNECT ROOFWATER DRAINAGE TO EXISTING KERB/CHANNEL.

The builder/designer has identified that occasionally floor framing elements may obstruct the ability to install services in accordance with relevant Australian Standards. The use of plastered bulkheads below flooring systems may be required to avoid obstructions. Creating bulkheads is at the discretion of the onsite Supervisor, to allow contractors to ensure that all works are carried out to meet with relevant building codes.

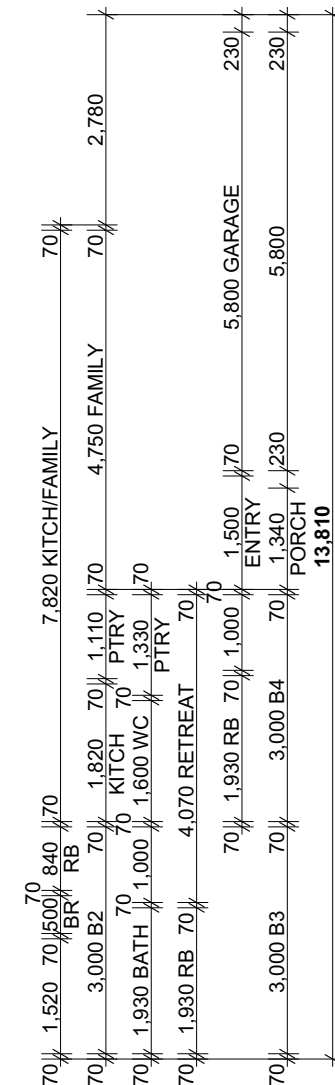
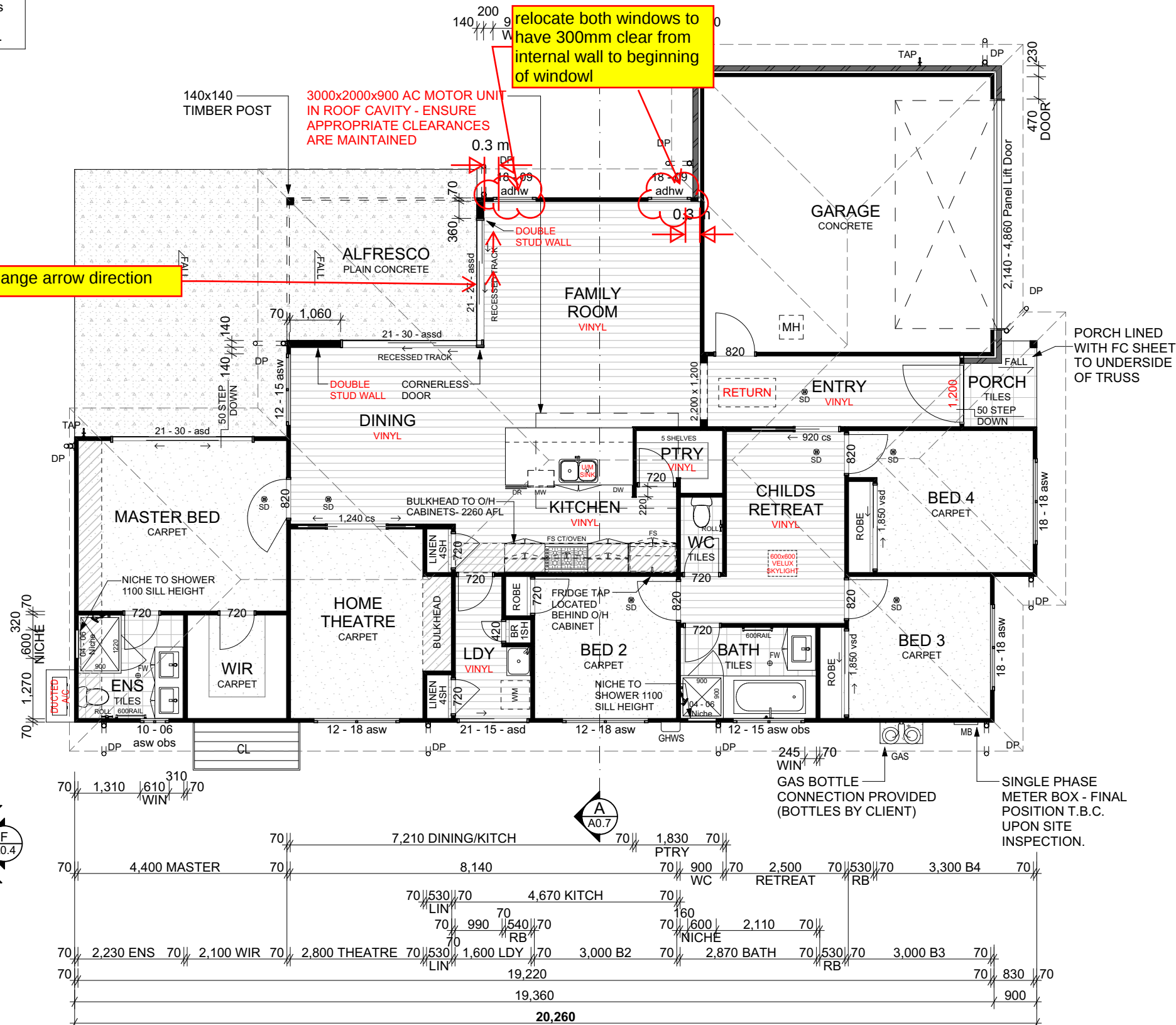
Final air conditioning, vacuumaid, intercom and alarm design/system is to be carried out by suitably qualified contractors on-site, inclusion or exclusion of ceiling vents maybe required and whilst the builder endeavours to replicate as per the build plan this is not always possible.



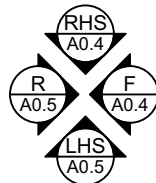
- (RAIL) TOWEL RAILS NOGGING HEIGHT 1200 AFL UNO
- (HOOK) TOWEL HOOK NOGGING HEIGHT 1650 AFL UNO
- (ROLL) TOILET ROLL HOLDER NOGGING HEIGHT 750 AFL UNO
- (RING) TOWEL RINGS NOGGING HEIGHT 1400 AFL UNO
- NICHE SILL HEIGHTS TO BE 1100 AFL UNO



change arrow direction



ASW - ALU. SLIDING
AAW - ALU. AWNING
ADHW - ALU. DOUBLE HUNG
ASHW - ALU. SINGLE HUNG
AFW - ALU. FIXED
GLASS TYPE:
OBS - OBSCURED
TRAS - TRANSLUCENT



Scale 1:100

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Client	Emily Zambrano
Project	LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

Drawing name:
Floor Plan

Project status:
CONSTRUCTION

Design: MOD. WILDFLOWER 216 Proj. No. 32ASPECT



REVISION R2		Wind class:	Flood level:	Scale:
CONSTRUCTION PLAN SET	22/03/22	N3 TBC	TBC	1:100@A3
R1 MARK UPS	12/04/22	Soil class:	BAL:	A0.3
R2 MARK UPS	16/05/22	H2 TBC	TBC	
		Plot date:		
		16/05/2022		

[illegible]

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES
CURRENT ISSUES OF AUSTRALIAN STANDARDS
CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



NOTE:
-ALL OVERHANGS ARE DIMENSIONED
FROM OUTSIDE OF TIMBER FRAME
-JOINERY HEIGHTS TO BE 2130 AFL U.N.O.



Notes:

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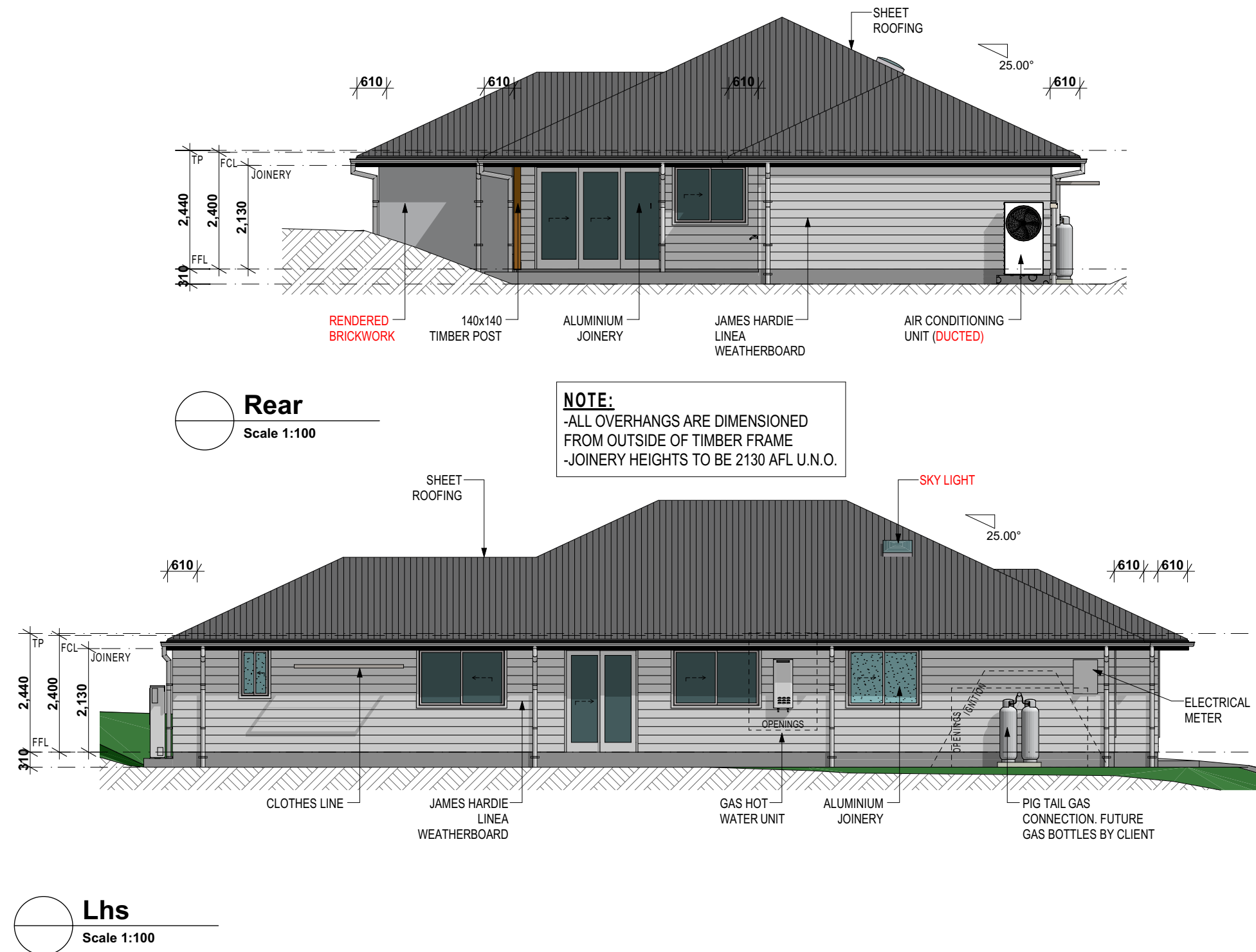
Design: MOD. WILDFLOWER 216	Proj. No. 32ASPECT
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REVISION R2	
CONSTRUCTION PLAN SET	22/03/22
R1 MARK UPS	12/04/22
R2 MARK UPS	16/05/22

Wind class: N3 TBC	Flood level: TBC	Scale: 1:100@A3
Soil class: H2 TBC	BAL: TBC	A0.4
Plot date: 16/05/2022		

THE NATIONAL CONSTRUCTION CODE (NCC); THE
BUILDING CODE OF AUSTRALIA (BCA); THE
QUEENSLAND DEVELOPMENT CODE (QDC);
BUILDING REGULATIONS & LOCAL GOVERNMENT
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CURRENT ISSUES OF AUSTRALIAN STANDARDS
CURRENT MANUFACTURERS SPECIFICATIONS &
INSTALLATION DETAILS FOR MATERIALS USED



Notes:

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Project	LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

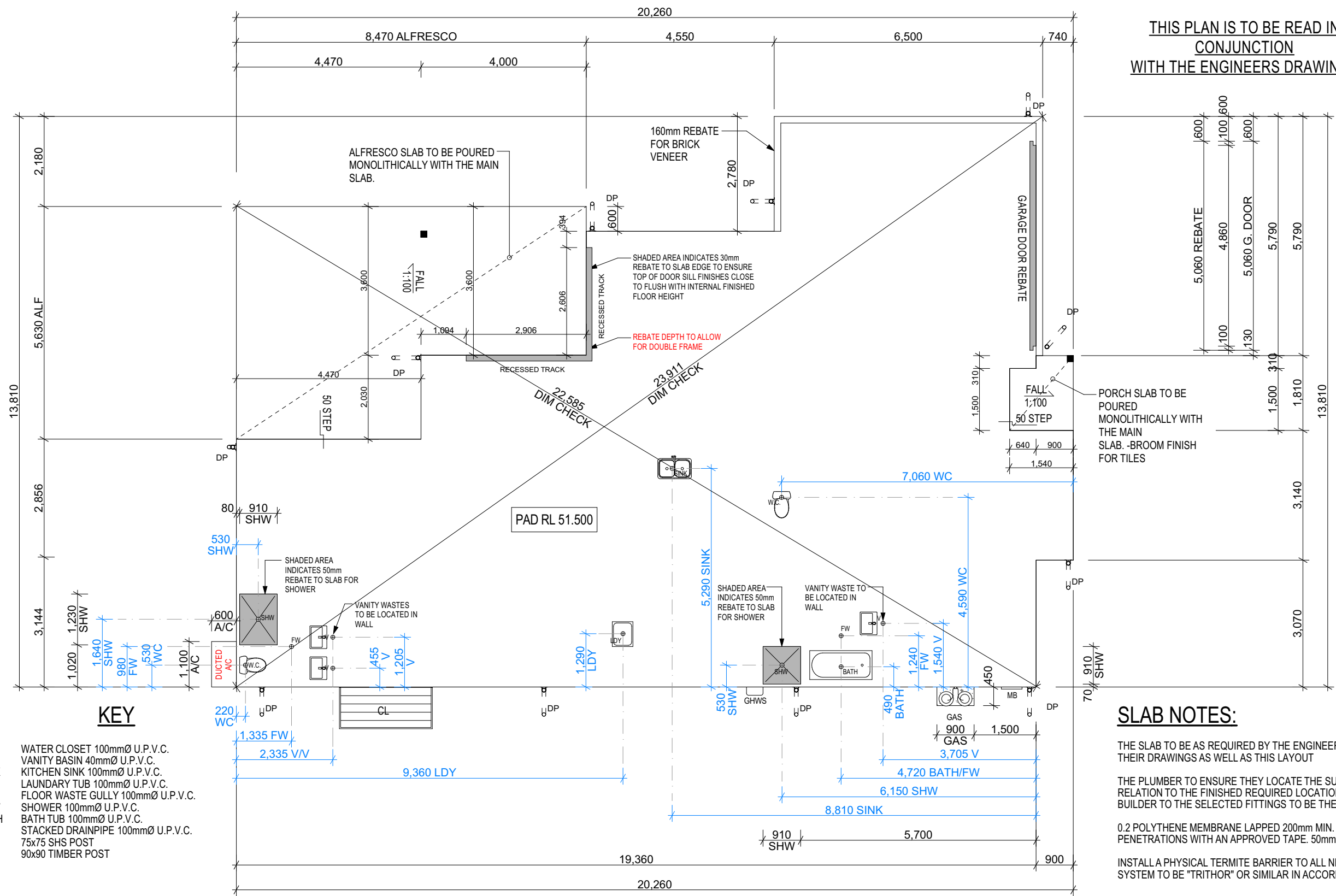
Drawing name:	Elevations 2 of 2
Project status:	CONSTRUCTION
Design:	MOD. WILDFLOWER 216



REVISION	R2	
CONSTRUCTION PLAN SET	22/03/22	
R1 MARK UPS	12/04/22	
R2 MARK UPS	16/05/22	

Wind class: N3 TBC	Flood level: TBC	Scale: 1:100@A3
Soil class: H2 TBC	BAL: TBC	A0.5
Plot date: 16/05/2022		

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HOMES IN DESIGN
PROJECTS
LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS - 32ASPECTCADSLOT 32 CORYMBIA ST pin



THIS PLAN IS TO BE READ IN
CONJUNCTION
WITH THE ENGINEERS DRAWINGS

KEY

- W.C. WATER CLOSET 100mmØ U.P.V.C.
- V VANITY BASIN 40mmØ U.P.V.C.
- LDY LAUNDARY TUB 100mmØ U.P.V.C.
- FWG FLOOR WASTE GULLY 100mmØ U.P.V.C.
- SHW SHOWER 100mmØ U.P.V.C.
- BATH BATH TUB 100mmØ U.P.V.C.
- SD STACKED DRAINPIPE 100mmØ U.P.V.C.
- SHS 75x75 SHS POST
- TP 90x90 TIMBER POST

SLAB NOTES:

THE SLAB TO BE AS REQUIRED BY THE ENGINEERS AND SHALL BE READ FROM THEIR DRAWINGS AS WELL AS THIS LAYOUT

THE PLUMBER TO ENSURE THEY LOCATE THE SUB-FLOOR PLUMBING IN RELATION TO THE FINISHED REQUIRED LOCATION CONFIRMATION WITH THE BUILDER TO THE SELECTED FITTINGS TO BE THE PLUMBERS RESPONSIBILITY.

0.2 POLYTHENE MEMBRANE LAPPED 200mm MIN. & SEALED AT ALL JOINTS & PENETRATIONS WITH AN APPROVED TAPE. 50mm MIN. SAND BED.

INSTALL A PHYSICAL TERMITE BARRIER TO ALL NEW WORK. PROPRIETARY SYSTEM TO BE "TRITHOR" OR SIMILAR IN ACCORDANCE WITH AS:3660

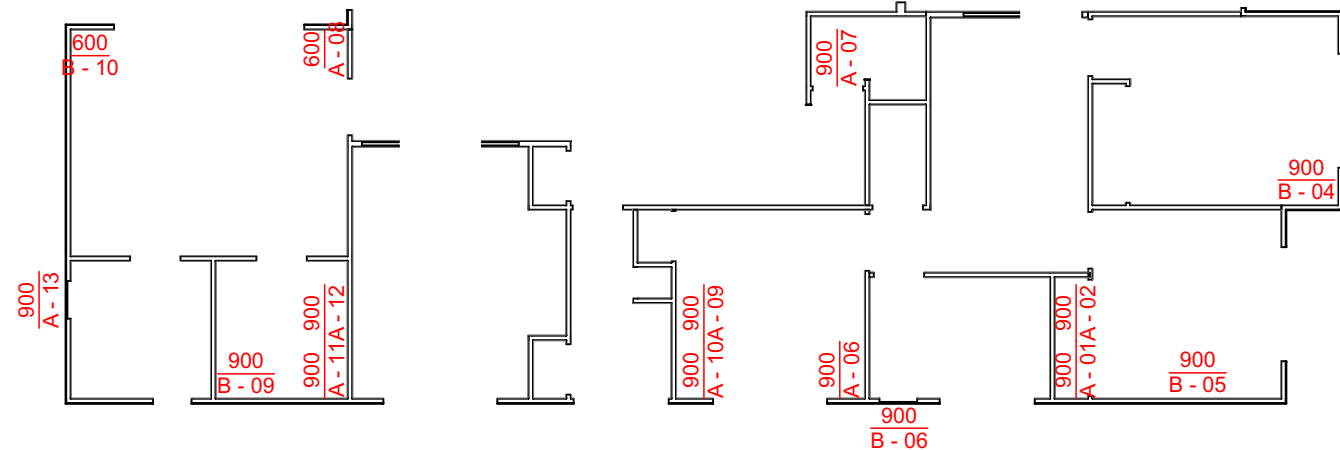
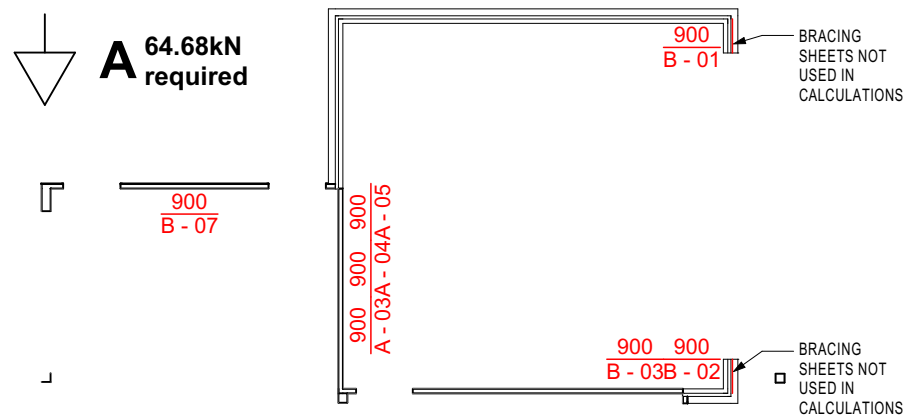
Slab Plan
Scale 1:100

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES
CURRENT ISSUES OF AUSTRALIAN STANDARDS
CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



Wind class: N3 TBC	Flood level: TBC	Scale: 1:50@A3
Soil class: H2 TBC	BAL: TBC	A0.7
Plot date: 16/05/2022		

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Bracing Plan

Scale 1:120

N3 BRACING SCHEDULE A - RESISTENCE REQUIRED = 64.68kN

ID	BRACING TYPE	LENGTH	BRACING VALUE (kN/m)	RESISTANCE
A - 01	900 Ply Brace	900	6.000	5.400
A - 02	900 Ply Brace	900	6.000	5.400
A - 03	900 Ply Brace	900	6.000	5.400
A - 04	900 Ply Brace	900	6.000	5.400
A - 05	900 Ply Brace	900	6.000	5.400
A - 06	900 Ply Brace	900	6.000	5.400
A - 07	900 Ply Brace	900	6.000	5.400
A - 08	600 Ply Brace	600	3.400	2.040
A - 09	900 Ply Brace	900	6.000	5.400
A - 10	900 Ply Brace	900	6.000	5.400
A - 11	900 Ply Brace	900	6.000	5.400
A - 12	900 Ply Brace	900	6.000	5.400
A - 13	900 Ply Brace	900	6.000	5.400
				66.840

N3 - BRACING SCHEDULE B - RESISTENCE REQUIRED = 44.52kN

ID	BRACING TYPE	LENGTH	BRACING VALUE (kN/m)	RESISTANCE
B - 01	900 Ply Brace	900	6.000	5.400
B - 02	900 Ply Brace	900	6.000	5.400
B - 03	900 Ply Brace	900	6.000	5.400
B - 04	900 Ply Brace	900	6.000	5.400
B - 05	900 Ply Brace	900	6.000	5.400
B - 06	900 Ply Brace	900	6.000	5.400
B - 07	900 Ply Brace	900	6.000	5.400
B - 08	900 Ply Brace	900	6.000	5.400
B - 09	900 Ply Brace	900	6.000	5.400
B - 10	600 Ply Brace	600	3.400	2.040
				50.640

Timber List - 70mm Frame

Wall Framing	T2 Treated - Seasoned Pine
Top Plate - Load Bearing	2/70x35 MGP12
Top Plate - Non Load Bearing	70x35 MGP10
Bottom Plate NLB	70x35 MGP10
Stud - Load Bearing	70x35 MGP10 @ 450 CTRS FOR TRUSS SPAN <6.0m 2/70x35 MGP12 @ 600 CTRS FOR TRUSS SPAN <6.0m
Stud - Non Load Bearing	70x35 MGP10 @ 450 CTRS 3000 MAX. HEIGHT
Loggng	70x35 MGP10, MAX 1350 CTRS
Roof Framing	ENGINEERED DESIGNED ROOF TRUSSES @ 600 CTRS
Roof Battens	ENGINEERED DESIGNED ROOF TRUSSES @ 600 CTRS
Lintels & Beams	AS PER FRAME MANUFACTURERS DETAILS
Dimensions A Main Roof	
Dimensions A Main Roof	

Fixing List	Sheet roof
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Fixing of:	Table No:	Method:
Roof Batten	9.25 C	1/75 No. 14 Type Screw into 70x25 Batten
Girder Truss	9.21 D	30x0.8 Gal. Loopd strap with 4/2.8Ø nails each end
Truss to Wall Frame	9.21 B	Framing anchor with 4/2.8Ø nails per fixing
Lintels/Beams to Studs	9.20 C	M12 Rod each end M12 Bolt to Lintel within 100mm of each Truss
Top Plate to Floor	9.19 C	M12 ROD @1200 CTRS MAX. C/C. ALSO ALL CORNERS, JAMBS, & ENDS. NB: FOR ALL WALL SUPPORTING JACK TRUSSES ONLY HD BOLT SPACINGS CAN BE INCREASED TO 1800 C/C

BRACING LEGEND

ALL BRACING AND TIE DOWN TO COMPLY WITH A.S. 1684.3-2010

TYPE C - GALVANISED STEEL ANGLE BRACE IN ACCORDANCE WITH A.S. 1684.3-2010
MANUAL, TABLE 8.18,
FIGURE (c) = 1.5kN/M

TYPE H - STRUCTURAL PLY SHEET BRACING IN ACCORDANCE WITH A.S. 1684.3-2010
MANUAL, TABLE 8.18,
FIGURE (h) = 6.0 kN/M

* PLY BRACING PANELS LESS THAN 900mm LONG TO A MINIMUM WIDTH OF 600mm, TO HAVE 1/12 ROD AT EACH END IN ACCORDANCE WITH A.S. 1684.2010 CLAUSE 8.3.6.5
PLYWOOD NAILING TYPES & STRENGTHS REFER TO PAA "STRUCTURAL PLYWOOD WALL BRACING" LIMIT STATE DESIGN MANUAL, TABLE 1: MINIMUM FASTENER SPECIFICATION
BRICK PIERS IN ACCORDANCE WITH "BRICK DEVELOPMENT RESEARCH INSTITUTE" CLAY
BRICK CONSTRUCTION DETAILS. VOLUME No 1, TABLE 12 = 1.5kN/M IN EACH DIRECTION
M4(B) BRACEBOARD SHEET IN ACCORDANCE WITH AUSTRALIAN HARDBOARDS M4
PRODUCT MANUAL TYPE B = 6.0kN/M
M4(C) BRACEBOARD SHEET IN ACCORDANCE WITH AUSTRALIAN HARDBOARDS M4
PRODUCT MANUAL TYPE H = 9.0kN/M
DOUBLE SIDED BRACING REQUIRES M16 RODS EACH END

NOTE:

TIE DOWN AND BRACING TO COMPLY WITH AS1684.3-2010
 - PROVIDE 2 STUDS UNDER EACH END OF TG'S & GT'S EDGE NAILING OF PLY BRACING TO BE AT 50mm CENTRES, PANELS GREATER THAN 600mm WIDE HAVE TIE DOWN RODS.
 - M12 RODS TO BRICK PIERS TYPICALLY.
 - TYPE C = GALVANISED STEEL ANGLE = 1.5kN / MTR
 - TYPE H = STRUCTURAL PINE PLY 7mm OR F27 4mm
 WITH ANCHOR BOLTS AND NAILING AT 50mm CENTRES TOP & BOTTOM.

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES
CURRENT ISSUES OF AUSTRALIAN STANDARDS
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FOR MATERIALS USED

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Client	Emily Zambrano
Project	LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS. QLD 4518

Drawing name:
Bracing Plan

Project status:

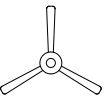
Design: MOD. WILDFLOWER 216	Proj. No. 32ASPECT
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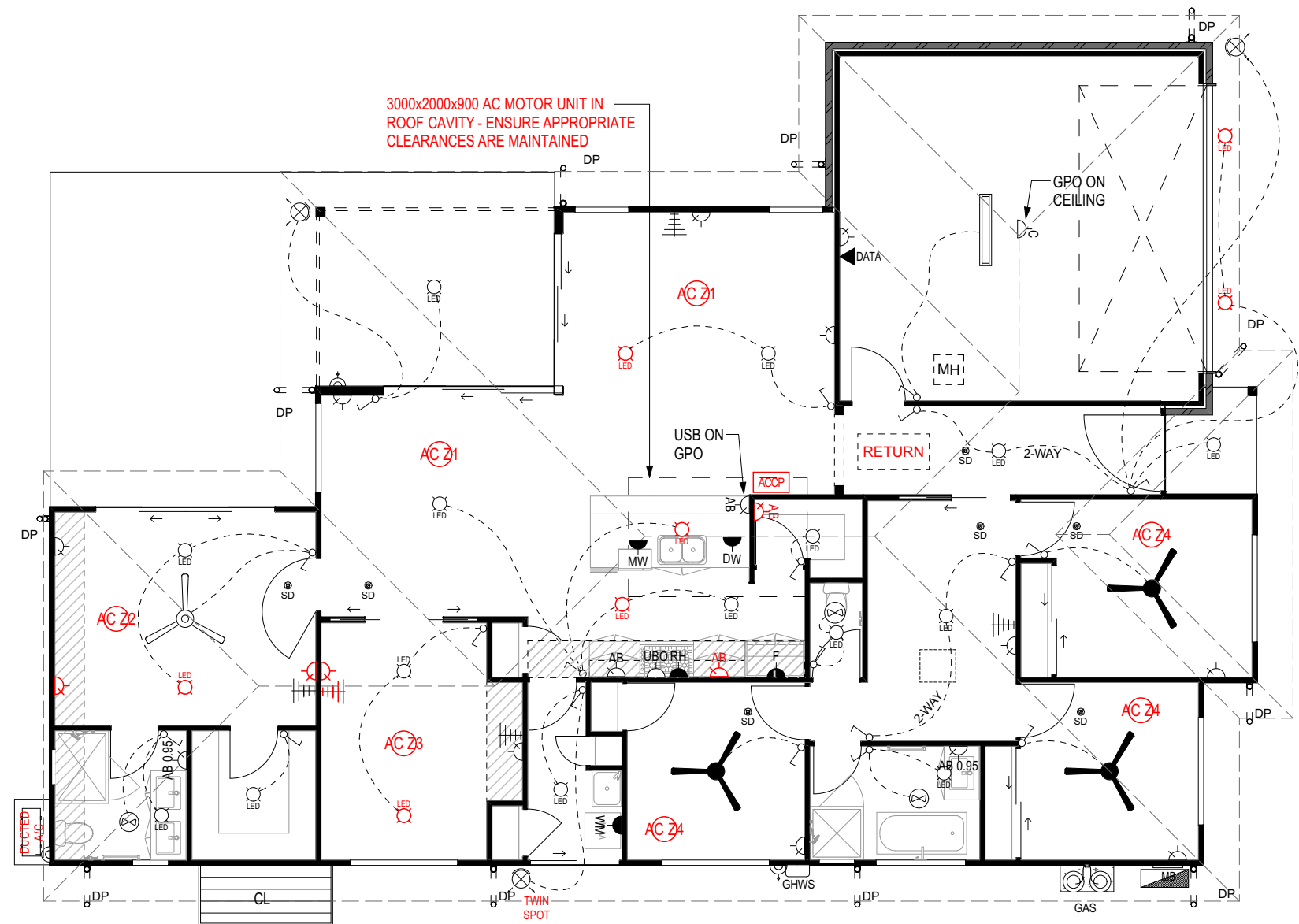


REVISION R2	
CONSTRUCTION PLAN SET	22/03/22
R1 MARK UPS	12/04/22
R2 MARK UPS	16/05/22

Wind class: N3 TBC	Flood level: TBC	Scale: 1:120, 1:200
Soil class: H2 TBC	BAL: TBC	@A3
Plot date: 16/05/2022		A0.8

ELECTRICAL LEGEND

 OR 	LED LIGHT/ LED ON SENSOR
	FLUORESCENT LIGHT
	WALL MOUNTED LIGHT LOCATED 2.1m FROM F.F.L
	SPOTLIGHT LOCATED ON SOFFIT
	DOUBLE GPO
	SINGLE GPO
	MICROWAVE / DISHWASHER SINGLE GPO UNDER BENCH
	HARDWIRED ISOLATOR SWITCH @1.1m FROM F.F.L
	DBL WEATHERPROOF OUTLET @1.1m FROM F.F.L
	GPO SGL/DBL WITH RELATIVE NOTES
	LIGHT SWITCH
	TV POINT
	HARD WIRED INTERCONNECTED SMOKE DETECTOR
	MECHANICAL VENTILLATION FAN
 NBN  DATA	NATIONAL BROADBAND NETWORK OUTLET 1.1 AFL (GARAGE) DATA/PHONE 0.3 AFL IN HOUSE
 OR 	ELECTRIC / GAS HOT WATER SERVICE
	AIR CONDITIONING EXTERNAL UNIT
	AIR CONDITIONING UNIT INTERNAL SPLIT SYSTEM
	METER BOX -LOCATION T.B.C. ON SITE
	CEILING FAN
	CEILING FAN - WITH LIGHT
 	AIR CONDITIONING VENT LOCATED IN CEILING/BULKHEAD
	AIR CONDITIONING CONTROL PANEL LOCATED 1.3m FROM F.F.L
	RETURN AIR VENT
	PENDANT LIGHT



Electrical Plan

Scale 1:100

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Client	Emily Zambrano
Project	LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

Drawing name:	Electrical Plan
Project status:	CONSTRUCTION

Design: MOD. WILDFLOWER 216	Proj. No. 32ASPECT
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REVISION R2	
CONSTRUCTION PLAN SET 22/03/22	
R1 MARK UPS 12/04/22	
R2 MARK UPS 16/05/22	

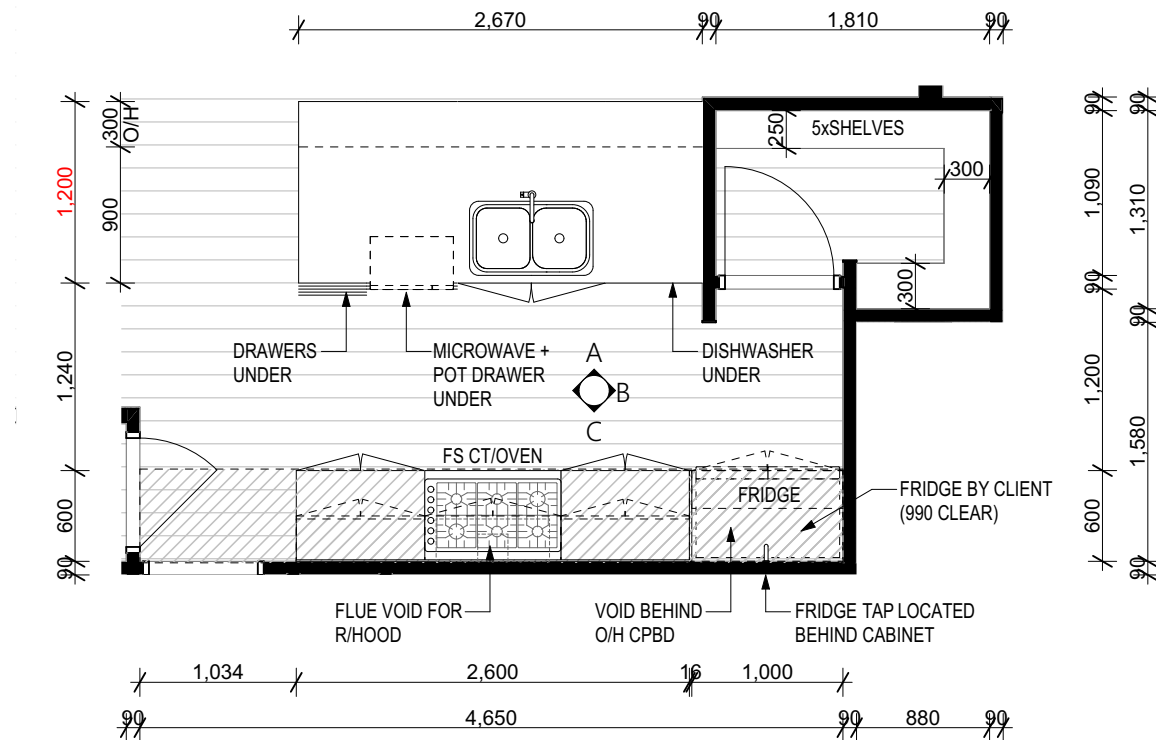
Wind class:	N3 TBC
Soil class:	H2 TBC
Plot date:	16/05/2022

Flood level:
TBC

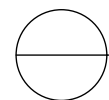
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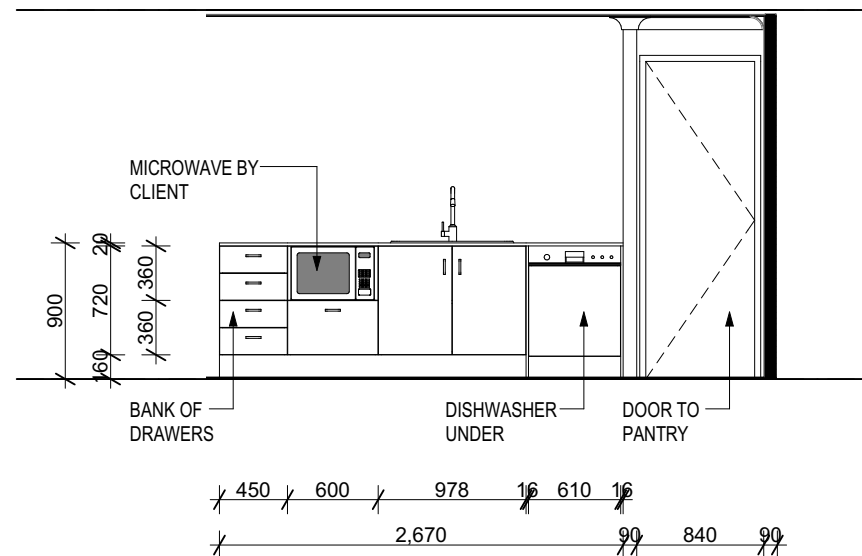
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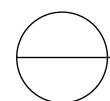
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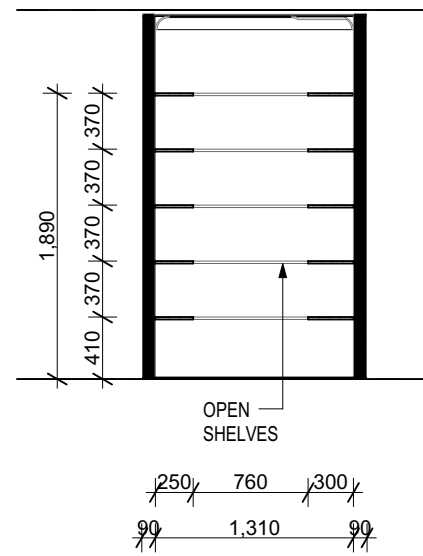


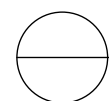
DISCLAIMER NOTE:
Dimensions shown are measured from plasterboard. On site measure up required to ensure as built dimensions.
The builder has identified that occasionally cabinetry layouts are not achievable. Final cabinetry layout/design is subject to site measure and final shop drawings completed by a suitably qualified contractor to ensure that all works are carried out to meet relevant building codes. The builder endeavours to provide an exact layout but this is not always possible.

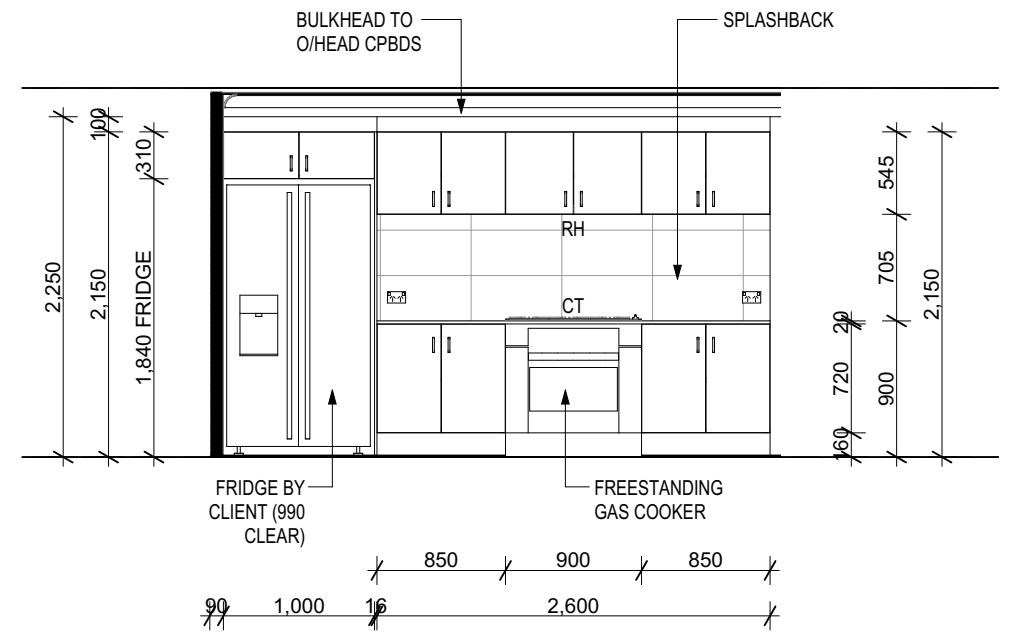
 **Kitchen Plan**
Scale 1:50

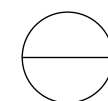


 **Kitchen A**
Scale 1:50



 **Kitchen B**
Scale 1:50



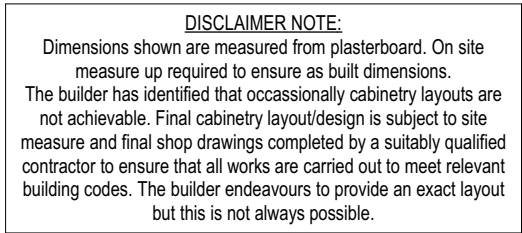
 **Kitchen C**
Scale 1:50



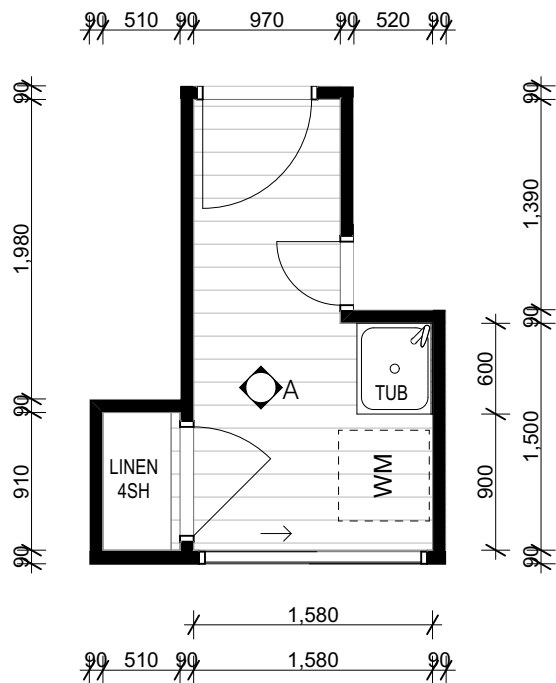
Dimensions shown are measured from plasterboard. On site measure up required to ensure as built dimensions.

The builder has identified that occasionally cabinetry layouts are not achievable. Final cabinetry layout/design is subject to site measure and final shop drawings completed by a suitably qualified contractor to ensure that all works are carried out to meet relevant building codes. The builder endeavours to provide an exact layout but this is not always possible.



[illegible]

 **Ensuite B**
Scale 1:50

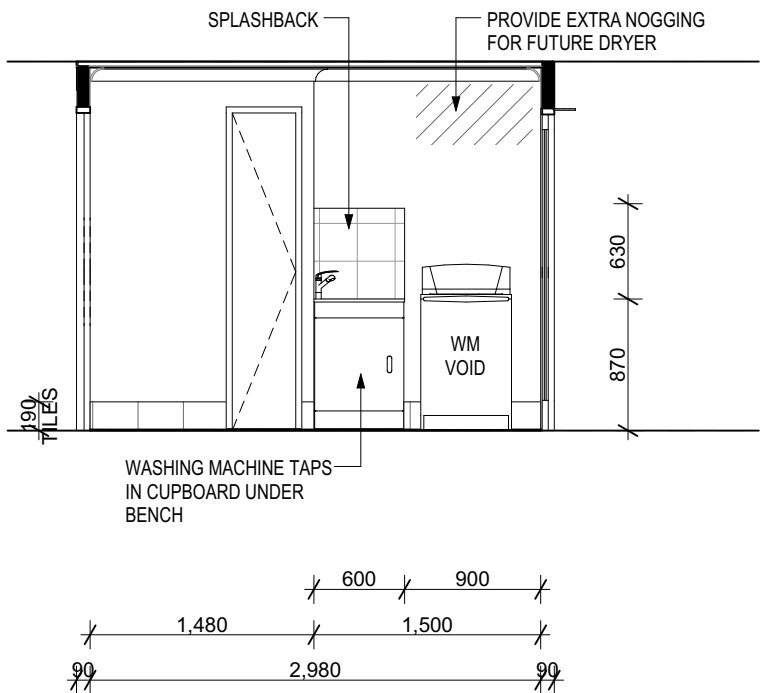


Laundry Plan

Scale 1:50

DISCLAIMER NOTE:

Dimensions shown are measured from plasterboard. On site measure up required to ensure as built dimensions. The builder has identified that occasionally cabinetry layouts are not achievable. Final cabinetry layout/design is subject to site measure and final shop drawings completed by a suitably qualified contractor to ensure that all works are carried out to meet relevant building codes. The builder endeavours to provide an exact layout but this is not always possible.



Laundry A

Scale 1:50

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Notes:

UPGRADE ITEMS SHOWN IN RED

Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction



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Client
Emily Zambrano

Project
LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

Drawing name:
Laundry Layout

Project status:
CONSTRUCTION

Design: MOD. WILDFLOWER 216 Proj. No. 32ASPECT



REVISION R2

CONSTRUCTION PLAN SET 22/03/22
R1 MARK UPS 12/04/22
R2 MARK UPS 16/05/22

Wind class:

N3 TBC

Soil class:

H2 TBC

Plot date:

16/05/2022

Flood level:

TBC

BAL:

TBC

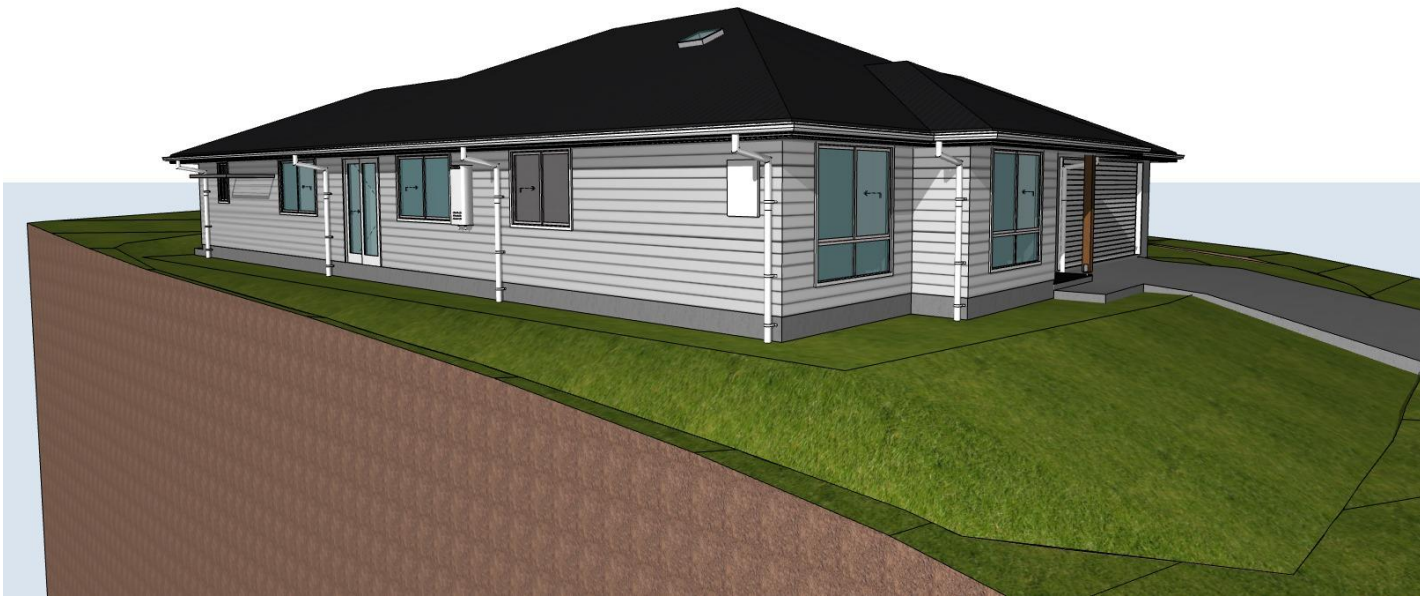
Scale:
1:50@A3

A0.13





3D Facade View
Scale



Lhs
Scale



Rear
Scale



Rhs
Scale

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Notes:
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Client
Emily Zambrano
Project
LOT 32 CORYMBIA STREET, GLASS HOUSE MOUNTAINS, QLD 4518

Drawing name:
3d Views
Project status:
CONSTRUCTION
Design: MOD. WILDFLOWER 216 | Proj. No. 32ASPECT



REVISION		R2
CONSTRUCTION PLAN SET		22/03/22
R1 MARK UPS	12/04/22	
R2 MARK UPS	16/05/22	

Wind class:	N3 TBC	Flood level:	TBC
Soil class:	H2 TBC	BAL:	TBC
Plot date:	16/05/2022		

Scale:
@A3

A0.15

REFERENCE CODES

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING ACT 1975 - 1991 AND ALL CODES REFERRED THEREIN.

PRELIMINARIES

ALL CONSTRUCTION METHODS, MATERIALS & WORKMANSHIP MUST COMPLY WITH THE BUILDING ACT & SUBSEQUENT AMENDMENTS AND ALL AUST. STD's REFERRED THEREIN.

IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THE
CONTENTS OF THIS DOCUMENT BEFORE
CONSTRUCTION IS COMMENCED.

WRITTEN MEASUREMENTS ARE TO THE FACE OF
TIMBER FRAMING OR THE BRICKWORK & ARE TO TAKE
PRECEDENCE OVER SCALED MEASUREMENTS.
ALL LEVELS ARE TO BE VERIFIED ON SITE.

CONCRETOR

ALL CONCRETE SHALL COMPLY WITH AS:3600.
FOOTINGS AND SLABS SHALL COMPLY WITH AS:2870 -
1986.
WHERE LOCAL AUTHORITIES REQUIRE SOIL TESTS &
ENGINEERED FOOTING AND SLAB DETAILS, THE
ENGINEERS DETAILS TAKE PREFERENCE OVER DRAWN
DETAILS WITHIN THIS DOCUMENT.

CARPENTER

ALL TIMBER SIZES ARE THE MINIMUM REQUIRED UNDER THE CODES, WALLS ARE 2400mm UNLESS OTHERWISE NOTED.

WC DOORS ARE TO BE SWUNG TO OPEN OUT OR BE FITTED WITH LIFT OF HINGES IF LESS THAN 1200MM FROM PAN TO WALL.

TIMBER SIZES TO BE AS PER THE TIMBER SIZES TABLE OF THE BRACING PLAN & THE TIE DOWN DETAILS

DETAILS TO BE AS PER THE TABLE ON THE BRACING PLAN.

ROOF TRUSSES TO BE AS PER ENGINEERED DESIGN BY AUTHORIZED MANUFACTURERS AND SHALL BE FIXED IN ACCORDANCE WITH THEIR DETAILS.

TRUSSES TO BE BRACED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

OTHER TRADES

UNLESS OTHERWISE SPECIFIED:
THE WALLS SHALL BE SHEETED WITH 10mm GYPROCK
AND 6mm VILLA BOARD TO THE WET AREA'S.
CEILINGS TO BE SHEETED AS REQUIRED BY THE
MANUFACTURER & THE ROOF TRUSS CENTRES SEE
THE MANUFACTURERS DETAILS.
CEILING GYPROCK TO BE FIXED DIRECTLY TO THE
UNDERSIDE OF THE ROOF TRUSS BOTTOM CORD AS
REQUIRED BY THE MANUFACTURER.
ROOF SHEETING TO BE FIXED AS REQUIRED BY THE
MANUFACTURER TO METAL BATTENS.
ROOF TILES TO BE FIXED AS REQUIRED BY THE
MANUFACTURERS IN RELATION TO THE SPECIFIED
WIND RATING.
BRICKWORK SHALL BE STRAIGHT, PLUMB & LEVEL
(WITHIN THE CODE FOR BRICKWORK) & HAVE VENEER
TIES AT MAX. 600mm CENTRES BOTH HORIZONTALLY
AND VERTICALLY.

ROOFWATER / DRAINAGE NOTES

- RAINFALL INTENSITY OF 250mm / hr WITH ARI OF 20 YEARS (BRISBANE)

AS PER PART 3.5.2 OF THE N.C.C., THE ROOF AREA PER DOWNPIPE IS CALCULATED USING THE STRAMIT QLD. QUAD EAVES GUTTER WITH AN EFFECTIVE CROSS-SECTIONAL AREA OF 8100sq.mm. ACHIEVING A MAX. ACTUAL ROOF AREA PER DOWNPIPE OF 40m². WHICH GIVES A MAX. PLAN AREA OF 49.8m² @ 5°, 49.2° @ 10°, 48.3m² @ 15°, 47.0m² @ 20°, 45.3m² @ 25° & USING 100 X 75mm DOWNPIPES.

- AS PER PART 3.1.2 OF THE N.C.C. IN ACCORDANCE WITH AS / NZ 3500.3.2, UPVC STORMWATER PIPELINES HAVING A SMOOTH (NON-PROFIED) INTERNAL BORE WITH A FALL OF 1:100 MIN. & A NOMINAL DIAMETER OF 100mm ACHIEVES A HYDRAULIC CAPACITY OF 8L/s, GIVING A MAX. ACTUAL ROOF AREA OF 114.7m² OR A MAX. PLAN AREA OF 110.2m² @ 5°, 105.2m² @ 10°, 101.0m² @ 15°, 97.2m² @ 20°, 93.2m² @ 25° PER STORMWATER PIPE.

BRANDING OF STRUCTURAL PLYWOOD

EACH SHEET OF STRUCTURAL GRADE PLYWOOD SHALL HAVE THE FOLLOWING INFORMATION LEGIBLY AFFIXED THERON BY THE MANUFACTURER AT THE POINT OF MANUFACTURE AT LEAST ONCE:

- (A) THE MANUFACTURERS NAME OR REGISTERED MARK.
- (B) THE WORD 'STRUCTURAL' OR PRODUCT DESCRIPTION.
- (C) REFERENCE TO THE STANDARD, ie., AS/NZ 2269.
- (D) THE GRADE OF OUTER PLIES (FACE FIRST, BACK LAST), eg., CC, CD OR DD. WHERE NON-STANDARD VENEER GRADES ARE USED AS PERMITTED IN CLAUSE 3.4.1(c), BRANDING SHALL INCLUDE A DESCRIPTOR THAT NON-STANDARD VENEER QUALITY HAS BEEN USED IN THE PLYWOOD ASSEMBLY.

THIS REQUIREMENT MAY BE MET BY REFERENCE TO A PRODUCT NAME OR DESCRIPTION THAT REFERENCES THE NON-STANDARD VENEER QUALITY IN THAT PRODUCTS SPECIFIC MANUFACTURING SPECIFICATION.

- (E) THE BOND TYPE OF THE GLUE LINE, i.e., A BOND
- (F) AN INDICATION OF THE STRESS GRADE OF THE SHEET, e.g., F7
- (G) THE PANEL CONSTRUCTION CODE e.g., 17-24-7
- (H) IF IMMUNIZED OR PRESERVATIVE-TREATED, BRANDING IN ACCORDANCE WITH AS/NZ 1604.3.

GIRDER TRUSS NOTE

ALL GIRDER TRUSSES TO BE SUPPORTED BY 3xMGP10 OR 2xMGP12 STUDS OF A SIZE COMMON TO THE WALL OR 2xMGP10 OF A SIZE COMMON TO THE WALL AT EACH SIDE OF AN OPENING IN ADDITION TO THE JAMB STUDS WHEN THE GIRDER TRUSS IS LOCATED OVER AN OPENING WHICH DOES NOT EXCEED 2460mm IN WIDTH UNLESS NOTED OTHERWISE ON THESE PLANS. IF IN THE EVENT THAT THE GIRDER TRUSS LOCATIONS ARE ALTERED, THE BUILDER & OR THE TRUSS MANUFACTURER ARE TO INFORM THIS OFFICE SO THAT AMENDED DRAWINGS CAN BE ISSUED.

NOTES

- ALL TIMBER FRAMED WALLS TO WET AREA'S TO BE LINED WITH F.C SHEET OR WR BOARD.
- ALL HANDRAILS TO BE 1000mm MIN. ABOVE FINISHED FLOOR (CARPET / TILES ETC.) AND WITH 125mm MAX. SPACING BETWEEN BALUSTRADING.
- DOORS TO W.C.'s TO HAVE LIFT OF HINGES FITTED IF LESS THAN 1200mm CLEAR WIDTH FROM PAN TO WALL.
- FIRST FLOOR TIMBER FLOORS TO HAVE AN APPROVED "WET AREA" FLOORING FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- ALL LAMINATED BEAMS TO HAVE FULL WIDTH BEARING AT EACH END.
- MASONRY CONSTRUCTION TO AS:3700.
- TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS:3660 & SHALL BE AN APPROVED PROPRIETARY SYSTEM.
- ALUMINIUM SLIDING WINDOWS TO BE INSTALLED IN ACCORDANCE WITH AS:1288
- INSULATION TO THE EXTERNAL WALLS AND CEILINGS TO BE AS NOTED ON THESE PLANS
- ***WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS***

SITE NOTES

- PLATFORM IMMEDIATELY SURROUNDING THE DWELLING TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM OVER 1M TO A EARTH DRAIN AS INDICATED ON THE SITE PLAN.
- THE SURFACE DRAIN TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
- MAX. 1000mm HIGH TIMBER RETAINING WALL WITH 65Ø-AG PIPE (TO DISCHARGE TO STORMWATER LINE) & GRANULAR BACKFILL BEHIND & TO BE WHOLLY CONTAINED WITHIN THE SITE, ONLY IF INDICATED ON THE SITE PLAN.
- HEIGHT OF FENCE INCLUDING THE HEIGHT OF THE RETAINING WALLS ARE NOT TO EXCEED 2000mm ABOVE NATURAL GROUND LEVEL, ONLY IF INDICATED ON THE SITE PLAN.
- DRIVEWAY SLOPE NOT TO EXCEED 1:4 OR AS PER LOCAL COUNCIL REQUIREMENTS, SEE SITE PLAN FOR SECTIONAL VIEW OF DRIVEWAY ON SLOPING SITES.
- DRIVEWAY AND FOOTPATH CROSS OVER BY OWNER.

GENERAL NOTES:

1. ALL BUILDING WORKS TO BE IN COMPLIANCE WITH THE N.C.C. 2016.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL AND CIVIL ENGINEERING, DRAWING AND TRUSS LAYOUTS.
3. THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF TRANSPIRE CONSTRUCTIONS AND FOR THE PURPOSE EXPRESSLY NOTIFIED BY THE AUTHOR. NO OTHER PERSON MAY USE THESE PLANS.