

CPCCBC4004A

IDENTIFY AND PRODUCE ESTIMATED COSTS FOR BUILDING AND CONSTRUCTION PROJECTS

ASSESSMENT SUMMARY

The assessment activities for *CPCCBC4004A Identify and produce estimated costs for building and construction projects* cover all aspects of the unit of competency required. To demonstrate competence in this unit, a participant must undertake all tasks and complete them satisfactorily and consistently. For Apprentices and Trainees, this includes employer completion of the Employer Record Book (ERB).

Participants must read all the information given before starting any assessment task. The assessment tasks are intended to be equitable, fair and flexible. If a participant has any questions or requires alternative arrangements to be made such requests should be directed to their Trainer/Assessor, who should note such arrangements in the 'Assessor Comments' on the affected assessment. If a participant feels they are not yet ready to be assessed, they should discuss their options with their Trainer/Assessor.

To satisfactorily complete the assessment, the participant is required to answer all questions correctly and demonstrate their skills to industry standards. If a participant does not answer some questions or perform some tasks, they will be deemed 'Not Satisfactory' for the task and 'Not Yet Competent' for the unit of competency. The Trainer/Assessor is able to provide the participant with additional information on interpreting the assessment outcomes and provide guidance on the participant's options. Should a participant still be deemed 'Not Satisfactory' they will have the opportunity to undertake a supplementary assessment or appeal the result.

By signing the cover page for each assessment item, the participant acknowledges they understand the assessment instructions and requirements and consent to being assessed. The participant also verifies and assures the RTO that the work submitted is their own work.

Participant Name	Tess Veldink
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Task	Assessment Results	
Theory Exam	☐ Satisfactory	☐ Not Yet Satisfactory
Practical Assessment	☐ Satisfactory	☐ Not Yet Satisfactory
Outcome for Unit of Competency	☐ Competent	☐ Not Yet Competent

Assessor Name	
Assessor Signature	
Unit Competence Determination Date	Click here to enter a date.

CPCCBC4004A

IDENTIFY AND PRODUCE ESTIMATED COSTS FOR BUILDING AND CONSTRUCTION PROJECTS

THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances, whereby the Participant's answers will be documented by a party other than the Participant. This must be acknowledged in writing (e.g. FT001 and Assessor Comments)
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- Assessors are to complete marking in pen of a different colour to the Participant.
- If a Participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a Participant changes their response in writing, they must put their initials next to the written change.
 - If a Participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name Tess Veldink

Participant signature Tess Veldink

Date 29/06/2020

Assessor name _____

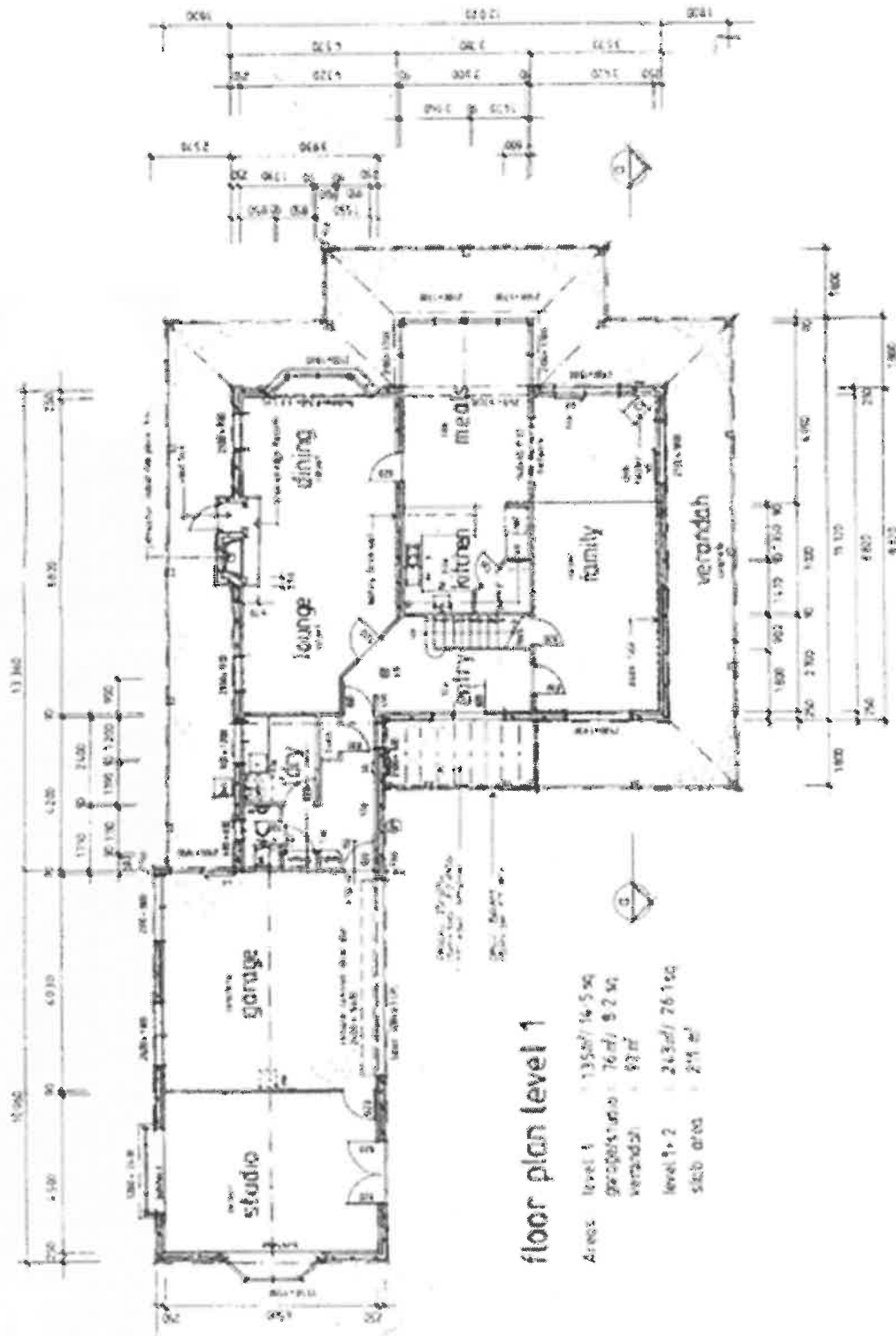
Assessor signature _____

Date Click here to enter a date.

Number of questions	Number of questions answered correctly	Task outcome (Tick)	
		Satisfactory	Not Yet Satisfactory
37		☐	☐

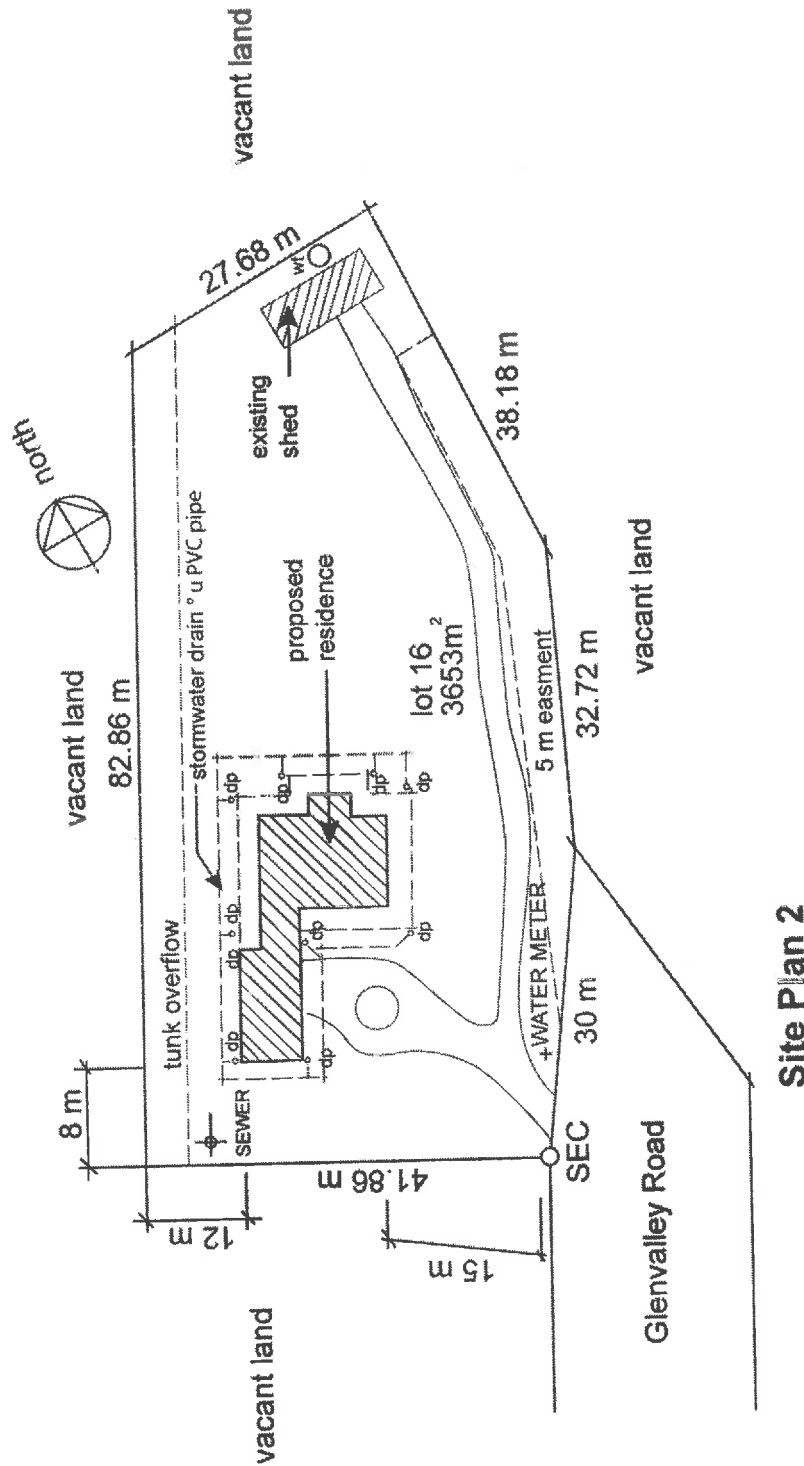
ASSESSOR COMMENTS

Refer to the plans and specifications below to respond to Q1. to Q9.



Clients : H&M Smith Lot 16 Glenvalley Road Richmond	North	Drawn : DUA		REVISIONS		Joe Foreman Ph: 03 9514 2311 Mob: 0413 113 113 18 Fairview Road, Richmond 3216
		date : 11/10/07	NO	DATE	BY	
		scale : 1 : 50				
		drg no : WD 9733				
		sheet 4 of 7				





Site Plan 2

Clients : H&M Smith Lot 16 Glenvalley Road Richmond	North	drawn : DJA date : 11/10/07 scale : 1 : 500 drg no : WD 9733 sheet 6 of 7	REVISIONS			Joe Foreman Ph: 03 9514 2311 Mob: 0413 113 113 16 Fairview Road, Richmond 3216
			NO	DATE	BY	

Q1. Match the sheet numbers and document types by writing the appropriate letter next to each number in the centre column.

Answer

Sheet Number	Answers	Document Type
1	1 - A	A Floor plan
2	2 - B	B Section plan
3	3 - C	C Site plan

Q2. Which sheet number of Drawing WD 9733 identifies the storm water drainage for the proposed structure? Tick your response.

Answer

Choice	Possible Answers
☐	Sheet 4
☐	Sheet 5
☒	Sheet 6

Q3. Identify the Volume and Parts of the NCC that outline the requirements for stormwater drainage for Classes 1 and 10, and Classes 2 to 9.

Answer

Classes 1 and 10	Classes 2 to 9
Volume 2 – Part 3, 2015, Clauses 3.1.2.0, 3.1.2.4, 3.5.2.0, 3.5.2.5	Volume 1 – Part 3, 2015, Clause F1.

Q4. Which Australian Standard is referenced in the NCC with regards to storm water drainage?

Answer

AS/NZS 3500.3

Q5. What is the area of the verandah? Tick your response.

Answer

Choice	Possible Answers
☐	76m ²
☒	92m ²
☐	135m ²
☐	211m ²

☐	243m ²
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Q6. What is the pitch of the verandah roof?

Answer ☐

Q7. What size are the verandah beams?

Answer ☐

Q8. Which of the following Jamb Studs are to be used for both the upper and lower storeys? Tick all that apply.

Answer ☐

Choice	Possible Answers
☒	90x45
☐	90x70
☐	90x90

Q9. Identify three (3) subcontractors that may work on this construction project.

Answer ☐

Q10. Identify three (3) items of plant and/or equipment that may be used on this construction project.

Answer ☐

Q11. Identify the Volume and Part of the NCC that outlines the requirements for the timber weatherboards identified in Sheet 5.

Answer 3.5.3.2 Timber Cladding

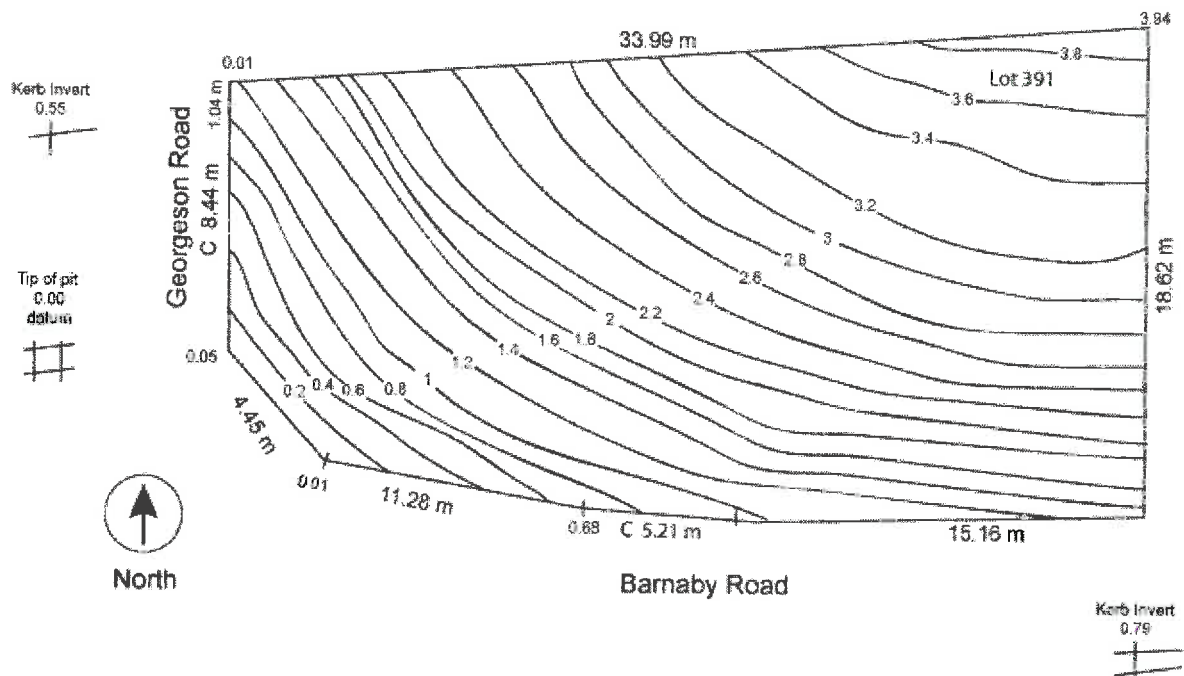
☐

Q12. Which Australian Standard is referenced in the NCC with regards to timber structures?

Answer AS 1720.1

☐

Refer to the contour plan below to respond to Q13. to Q15.



Q13. What is the datum reading at the tip of the pit?

Answer 0.08

☐

Q14. What is the level at the kerb invert?

Answer 0.55 and 0.79

☐

Q15. True or False (Tick your response): The lowest point on the site is found at the northernmost point.

Answer

☐	True
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☐

☒	False
-------------------------------------	-------

Q16. True or False (Tick your response): A Gantt Chart may assist with determining the numbers of on-site personnel required and the time requirements for a project.

Answer

☒	True
☐	False

☐

Q17. Identify labour that may be required for non-contract elements of a construction project.

Answer Office administration staff

☐

Q18. Explain how the following methods may be used to calculate the costs for on-site work.

Answer

Method	Explanation
Per hour	The cost of building walls to a specified height such as 2400mm may be quoted per lineal metre of wall length
Per unit	Installation of doors is usually quoted per unit
Per metre	The cost of building wall may be quoted on the floor area in square metres

☐

Q19. Which of the following documents may you refer to when establishing material quantities for a construction project? Tick all that apply.

Answer

Choice	Possible Answers
☐	Plans
☐	Project contract

☐

☒	Specifications
☐	Standard construction contracts

Q20. True or False (Tick your response): The fast way to locate suppliers, such as manufacturers and wholesalers, is to find them online.

Answer

☒	True
☐	False

☐

Q21. Explain how each of the following factors affects supplier selection.

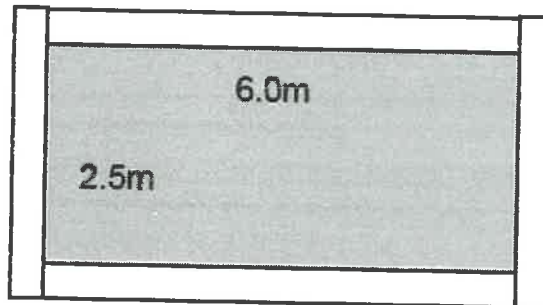
Answer

Factor	Impact
Location	Dealing with distant suppliers might mean longer delivery times and extra freight costs
Price	Affordability is a key factor, but cheap does not always equate with quality
Reliability	Suppliers should be able to deliver the right goods and on time
Stability	Look for experienced suppliers who have been in business a long time. This illustrates financial stability.
Supplier groups	While using a single supplier has its advantages, it also has risks. It might be better to use a carefully selected group of suppliers as insurance against any problems occurring.

☐

Read the following information to respond to Q22. to Q27.

The diagram below shows formwork that is required for a concrete slab.



The table below outlines the costs for this task.

Item	Cost
Timber	\$2.50 per metre
Concrete	\$50.00 per cubic metre (excluding GST)
Labour	\$49.50 per hour

Q22. Calculate the lineal meters of timber (150mm wide x 25mm thick) required to form up the edge of a concrete slab which is 6.0m x 2.5m x 150mm. Provide no allowance for waste. Show your answer to two decimal places.

Answer

1 step:

$$2.5 \times 2 = 5 \text{ m}$$

$$5 \text{ m} + (150 \text{ mm} \times 4) = 5.6 \text{ m}$$

2 Step:

$$6 \times 2 = 12 \text{ m}$$

$$12 + 5.6 = 17.6 \text{ lineal metres}$$



Q23. Use your response to Q22. to calculate how much the timber will cost. Show your workings and answer to two decimal places.

Answer

$$2.50 \times 17.6 = \$44.00$$



**Q24. Calculate how many cubic metres of concrete are required.
Show your workings and answer to two decimal places.**

Answer

$$6 \times 2.5 \times .15 = 2.25 \text{ cubic metres}$$

☐

**Q25. Use your response to Q24. to calculate the cost of the required concrete.
Show your answer to two decimal places and ensure it includes GST.**

Answer

$$50 \times 2.25 = 112.50 \text{ ex GST}$$

$$112.50 \times 1.1 = \$123.75 \text{ inc GST}$$

☐

**Q26. Calculate how much the labour will cost if the job takes 6 ½ hours.
Show your workings and answer to two decimal places.**

Answer

$$49.50 \times 6.5 = \$321.75$$

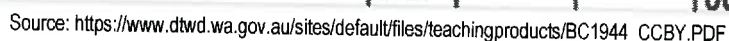
☐

Q27. Use your responses for Q23. Q25. and Q26. to calculate how much this project will cost. Show your workings and answer to two decimal places.

Answer

$$44 + 321.75 + 123.75 = \$489.50$$

☐



Q28. Measure the required quantities for the items listed below.

Answer

Quantity	Item
27	Ceiling light
1	Wall light
10	External light
3	Exhaust fan
2	Smoke detector



Q29. The costs for each of the items are provided in the table below.

Cost	Item
\$49 each	Ceiling light
\$29 each	Exhaust fan
\$82 each	External light
\$39 each	Smoke detector
\$59 each	Wall light

Determine the total costs for each item (using the numbers from Q28.) and the total cost for all items.

Answer

Cost	Item
\$76	Ceiling light
\$59	Wall light
\$820	External light
\$87	Exhaust fan
\$78	Smoke detector
	TOTAL



Q30. Name one (1) organisation that provides workers' compensation insurance.

Answer

WorkCover Queensland



Q31. Which of the following environmental costs should be considered when determining project costs? Tick all that apply.

Answer

Choice	Possible Answers
☒	Approvals
☒	Environmental protection
☒	Permits
☒	Waste management

☐

Q32. List three (3) statutory costs that should be considered when determining project costs.

Answer

Required licences, Registration of vehicles and Training for health & safety representative

☐

Q33. Which two (2) of the following methods are commonly used when determining the profit on a project? Tick all that apply.

Answer

Choice	Possible Answers
☐	Double the builder's cost
☒	Lump sum based on market conditions
☒	Percentage on builder's total cost

☐

Q34. True or False (Tick your response): Usually a percentage is added to the estimate to cover company overheads.

Answer

☒	True
☐	False

☐

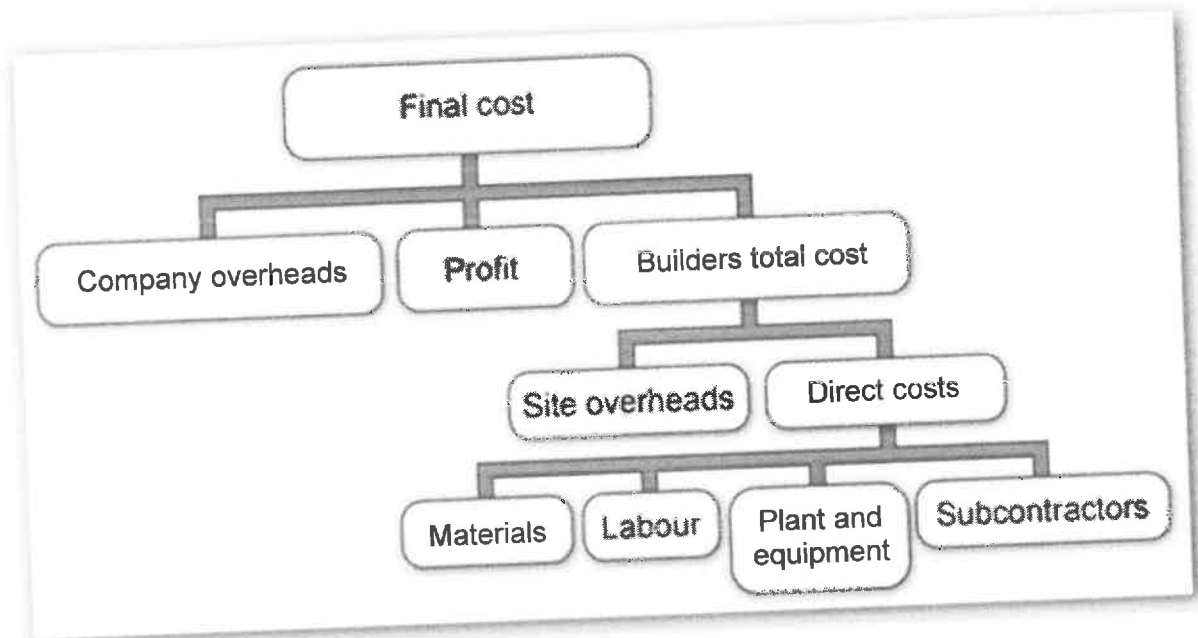
Q35. Identify one (1) example of company overheads for each of the listed categories.

Answer

Factor	Impact
Business premises	Office rent/leasing
Staff and professional fees	Labour and Salary
Transport	Company Vehicles
Finance	Accounting

☐

Q36. Fill in the blanks: Complete the following chart to identify what is included in the final cost for a project.



Choose from

Builder's total cost | Company overheads | Direct costs | Materials | Plant and equipment

☐

Q37. Which of the following should be included in a letter of quotation?
Tick all that apply.

Answer

Choice	Possible Answers
☒	Conditions to your price
☒	Discrepancies
☒	Final cost
☒	Invitation to proceed

☐

CPCBC4004A

IDENTIFY AND PRODUCE ESTIMATED COSTS FOR BUILDING AND CONSTRUCTION PROJECTS

PRACTICAL ASSESSMENT INSTRUCTIONS

- The following practical assessment will require the Participant to complete work related activities.
- The Assessor will conduct observations of the Participant's work to determine whether they display sufficient practical skills and knowledge.
- Please fill in the details below – providing your name, signature and date of assessment.
 - The Participant's signature acknowledges that the Assessor provided clear instructions and the Participant understood what was required to complete this assessment.
- The Assessor may substitute a Practical Task with an alternate task of equal value.
 - Alternate tasks must be fully documented by the assessor in the Assessor Comments area.

Participant name Tess Veldink

Participant signature Tess Veldink

Date 29/06/2020

Assessor name _____

Assessor signature _____

Date Click here to enter a date.

Task	Task outcome (Tick)	
	Satisfactory	Not Yet Satisfactory
Task 1 (Occasion 1)	☐	☐
Task 1 (Occasion 2)	☐	☐

ASSESSOR COMMENTS

CPCCBC4004A IDENTIFY AND PRODUCE ESTIMATED COSTS FOR BUILDING AND CONSTRUCTION PROJECTS

Practical Task 1 (2X)

Description of task:

On two (2) occasions, a suitable observer is to verify the participant's ability to establish the estimated costs associated with the acquisition of materials and labour on building and construction sites, together with the application of relevant overhead costs and margins.

The participant is to gather evidence of how they have completed each component of the Practical Task, which is to be submitted with this Practical Assessment sheet. Evidence to be submitted may include a copy of a Bill of Quantities or similar estimate for a project that shows the following:

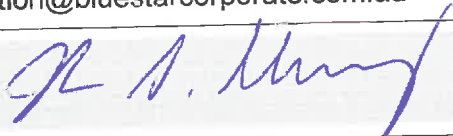
- Quantity calculations for material and labour requirements across the trades
- All other associated costs
- Overhead and Profit Margin allowances
- A copy of a quotation
- A copy of the plans and specifications, etc. for the project
- Variation documentation

The observer is to provide detailed comments on the tasks completed by the participant. The assessor is to verify the observer's comments in the Assessor Comments section, and provide the Practical Assessment outcome on the front cover of this document.

Resources required:

Project plans/drawings/specifications, Computer with costing software.

Assessment of task

Name of participant:	Tess Veldink		
Name of observer:	John Murray		
Role of observer (Confirm suitability to sign)	Estimating Manager		
Email address of observer	reception@bluestarcorporate.com.au		
Signature of observer:			
Date:	20/07/2020		
When completing the task, did the participant:	Tick if satisfactorily completed. Provide comments if left unticked.		
	1st Occasion	2nd Occasion	
1.A. Identify, read and understand plans and drawings: • Interpreting levels, heights, gradients and other measurements • Make measurements and identify quantities that conform to standard industry practice (e.g. national codes, standards)	☒	☐	
1.B. Identify types and numbers of appropriate on-site personnel and estimate the time required on-site, including labour hours for non-contract elements of on-site work.	☒	☐	
1.C. Calculate costs or rates for required on-site work.	☒	☐	

1.D. Identify physical resource requirements, producing lists of materials and calculated quantities against project or standard construction contracts.	☒	☐
1.E. Establish prices from suppliers for: - Materials and consumables - Plant or requirement requirements	☒	☐
1.F. Determine and apply estimates of unit costs, as appropriate.	☒	☐
1.G. Identify and apply costs of statutory/additional costs, including: - WorkCover requirements - Environmental Protection Agency requirements - Seeking approvals - Waste management site fees	☒	☐
1.H. Apply company overhead recovery and margins.	☒	☐
1.I. Using a costing software program, calculate completed estimated project costs for inclusion in a tender or bill.	☒	☐
1.J. Effectively communicate using the following methods: - Verbally using language/concepts appropriate to cultural differences - Non-verbal communication	☒	☐

The Participant's performance was: ☒ Satisfactory ☐ Not Satisfactory

OBSERVER COMMENTS

Both occasions have submitted a bill of quantities and other estimating documents as evidence. Occasion one was a residential estimate for a house and occasion two was a commercial estimate for a school.

1A – Reading and understanding plans and drawings was highlighted at the start of each occasion. The basics elements of the different measurements including gradient and levels were discussed with images for reference.

1B – The start of the estimating process was discussed in detail. The first thing that was highlighted in both occasions was calculating labour costs by starting with the plans and specifications and figuring out other trades for the project. The non-contract elements of on-site works was also discussed in detail, giving examples and a step by step process.

1C & 1D – The importance of a bill of quantities and material sheets was highlighted with a bill of quantities documents and material spreadsheet submitted for both occasions. It was discussed again in a clear step by step process of understanding physical resource requirements.

1E & 1F – The best way to get pricing and quotes from suppliers and plant hire was highlighted. The calculation of estimated project costs was discussed by applying labour rates and materials prices to the quotes received. Example quotes and materials listed was supplied as evidence.

1G & 1I – Statutory Costs and other additional costs of construction projects was lightly touched on explaining Workcover insurance and environmental Protection Authority. The benefits of estimating costing software were also mentioned at the end of both occasions.

1H – Site Overheads and Company overheads were discussed in detail with a overheads spreadsheet submitted as evidence. The differences of the two were explained including how the company makes a profit.

1J - Effective communication was used through the practical assignment. Non-verbal communication was shown through the email trails and correct language/concepts was used through to include cultural differences

Occasion 1 – Residential – Coral Homes

To: dionveldink@coralhomes.com.au
From: tessdunning@coralhomes.com.au
Subject: Current project: 7 Cassim Place

Hi Dion,

As discussed, we will be working together to estimate the above project. The first topic is to understand plans and specifications.

Plans & Specifications -

Identifying and interpreting plans and drawings are critical to showing all parties the proposed structure and what it will look like when completed. Common types of plans include, project plans, location plans, site plans, floor plans, section, elevation and contours. If you are unsure of the difference between the plans, please let me know and I'll send you through some information.

On the plans there will be a number of symbols and abbreviations, this is to help interpret the drawings and help envision the end project. The project specification document should also be read with the plans as the specs document is part of the description of the building being built. See attached specifications and two plans of the two-storey house we are working on for your reference.

Drawings are usually arranged in the approximate order of construction – A set of drawings consists of:

Civil (C-1, C-2, etc): include plot or site plans, utilities, easements, grading and landscaping

Structural (S-1, S-2, etc): include foundation, structural steel, building support system, roof framing

Architectural (A-1, A-2, etc): include floor plans, elevations, building sections, door and window schedules and room finishes

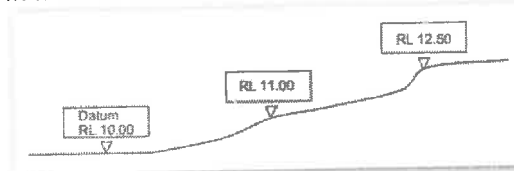
Electrical (E-1, E-2, etc): include electrical wiring, lighting plan, reflected ceiling plan, panel schedules

Mechanical (M-1, M-2, etc): include heating, ventilating, sprinkler systems and air conditioning plans

Plumbing (P-1, P-2, etc): include hot and cold water system layout and sewage disposal systems

All construction requires use of accurate measurement and calculation of quantities which is done by either the builder (us) or a quantity surveyor. As we are the builder for this residential project, we will be the ones taking the measurements – common measurement methods include, counting, length, area, volume and weight.

Reduced levels indicate height on a drawing and is usually shown to two decimal places, to the nearest 10mm. Reduced levels may have 'RL' in front of them to show that the figure represents a reduced level. See example below.



The use of lines is important for contour drawings. Approximately concentric closed contours with decreasing values towards centre see below indicate a pond, with increasing values towards centre indicate hills. Another important thing to remember is that contour lines do not meet or intersect each other

The basic unit of linear measure in the metric system is metres, other linear units are either fractions or multiples of a metre such as millimetre, centimetre and kilometre. Dion, please remember to be aware of all codes and standards affecting building. The NCC lists all applicable building provisions and references a number of standards with the document.

Thanks,

Tess Dunning
Contract Administrator

To: dionveldink@coralhomes.com.au
From: tessdunning@coralhomes.com.au
Subject: Current project: 7 Cassim Place

Hi Dion,

As discussed here is some information on identifying and calculating labour costs.

Identify & calculate labour costs -

Using the plans and specification as a reference, you can start to gauge the staff requirements to complete the construction task. You need to determine what tasks can be completed by your employees and what tasks a subcontractor can do.

There are a number of different trades that need to be organised for a construction project and these will differ depending on the type of work that needs to be completed. Some trades include; excavation, electrician, plumbing, steelfixing, gas fitting and concreting.

Calculating labour hours for non-contract elements of on-site works –

There are aspects of on-site work that do not form part of the contract, costs associated with running the business eg. overheads for administration staff. It's important to calculate the labour hours in relation to these non-contractual elements of work. Once we have the final figure of the project, we then add our overhead costs and business profit.

To calculate labour costs, start by working out how much it costs per day (or hour) to have an employee on the job, multiply that rate by the time you expect the job to be done. You then need to identify where you'll need subcontractors, which the contractors estimate the job but be aware they may not be as precise as us, ensure you also do a calculation.

Please let me know if you have any questions.

Thanks,

Tess Dunning
Contract Administrator

Figure 1: Elevation of the bridge deck showing dimensions in feet and inches. The deck is 62 feet 6 inches wide at the top and 58 feet 0 inches wide at the bottom. The total length is 101 feet 6 inches. The deck is supported by two piers, each 4 feet 6 inches wide. The deck is 6 feet 0 inches high at the top and 5 feet 0 inches high at the bottom. The deck is 2 feet 3 inches thick at the top and 2 feet 3 inches thick at the bottom. The deck is 2 feet 3 inches thick at the top and 2 feet 3 inches thick at the bottom. The deck is 2 feet 3 inches thick at the top and 2 feet 3 inches thick at the bottom.

N2.



LE	REINFORCED CEMENT
EG	THOSE PROVIDED
ND	WALL OPEN TOPPER
W	DISWASHER PROVISION
D	BREAKFAST BAR
V	WALL
P	WASHING MACHINE PROVISION
Y	SHOWER
ET	800 x 600 MAIN HOLE
	DOWNGRADE
	HARDWOOD TUBER
	OBSCURE CLASS
	NEED GLASS TO ALL PANELS
	DOUBLE HING WINDOW
	DAT
	CLASS SLOTTED PANEL
	SLIDING DOOR (EXTERNAL)
	SHOWER BATH AND TUB
	POWER COATED ALUM FINISH
	FEEDBACK UNIT PANEL TO WINDOW
	GENERATION RIGS TO WINDOWS

OVER 5000 COORDINATIONS THE LINE INCLUDING
ALL INTERNAL DIMENSIONS STATED ARE FRAME
SIZE - EXCLUDING LINING.
4/450mm WIDE WHITE U.N.O.
4/450mm WIDE WHITE U.N.E.M.E. SHELVES TO
4/520mm WIDE PAINTED PINEBOARD SHELVES
TO U.N.I. CLOPBOARD.
R.2.5 INSULATION TO ENTIRE CEILING AREA
(EXCLUDING GARAGE AND PORCH).
R.H.N.O.M.A.G. SPRING TO ALL EXTERNAL
BRACKETS INCLUDING GARAGE.
PROVIDE UP PORTED DISC SPRINGER AND
CONNECTION TO HOT WATER UNIT.


Coral
Homes
"Built On Trust"
CORAL HOMES
42 SAGANTO DRIVE, OXENFORD
P.O. BOX 497, OXENFORD, 4210.
B.S. LIC. No. 104653 (O.U.)
B.S. LIC. No. 62046 (NSM)

CHECKED  DRAWING FLOOR PLAN LAYOUT SCALE: 1:100 DATE: 20/05/03 DRAWN: SDA	REORDER LETTER 26 MAY 2003 REFERENCE NO. J7847
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SHEET 1 OF 15
 THE COX & HODGES GROUP
 ALL RIGHTS RESERVED

LIVING (LOWER) :-	131.84m ²	
LIVING (UPPER) :-	131.84m ²	230
GARAGE :-	37.35m ²	
PORITICO :-	5.52m ²	230
PATIO :-	24.00m ²	
TOTAL AREA :-	330.75m ²	
PER LENGTH (LOWER) :-	58.72m	
PER LENGTH (UPPER) :-	49.34m	
ROOF AREA (LOWER) :-	69.27m ²	
PER LENGTH :-	32.97m	

CLASSIC

FINAL

I/WE ACCEPT
WORKING DRAW-
INGS & I/WE
PLANS & I/WE
ATIONS OR AD-
DITIONS.

THESE PLANS
CONTRACT BE-
TWEEN US &
& CONVEY HOW-

PRIOR FOR ST-
Stacy

BUILDERS SIGN

WE ACCEPT THAT THESE PLANS ARE THE
WORKING DRAWINGS THAT SPECIFY THE
PLANS & I HAVE CHECKED THAT THEY
ARE AS OF ACCORDANCE WITH THE
THESE PLANS ALSO FORM PART OF OUR
CONTRACT BETWEEN THE PROPRIETOR
OR CIVIL HOMES.

PROPRIETOR SIGNATURE _____ PROPRIETOR SIGNA _____
Blanca
BUILDERS SIGNATURE _____ THESE PLANS ARE
CERTIFIED BY THE
CIVIL HOMES OF

INCLUDED DATA	CHECKED	RENDER LETTER
		26 MAY 2007
DRAWING		REFERENCE NO.
FLOOR PLAN LAYOUT		J7847
SCALE: 1/8"=1'-0"	DATE:	20/05/03 (CP)
DRAWN: SDA		
SHEET 1 OF 15		
 THE CORAL HOMES GROUP 41 NORTH HAVEN STREET		



TWO STOREY DELUXE SPECIFICATION

PEACE OF MIND

HIA fixed price building contract
Lifetime structural warranty
180 day maintenance period
Standard Shire, Building and Water corporation fees
Engineers and Surveyor site inspection of your block
Structural engineered designed slab & footings
Termite protection system to AS3660.1
Home Indemnity Insurance
On-site construction insurance

GENERAL CONSTRUCTION

Elevation and roof pitch as shown on standard plan
Engineered concrete ground slab and 2 course
engineered suspended slabs where applicable
Grey concrete hardstand to garage
Choice of Colorbond® steel or Bristle® roof tiles to
roof
Timber (industry standard pine) framed roof
Colorbond® steel gutter, fascia and downpipes
Double clay brick construction
Painted sand finished render to external brickwork in
choice of 2 colours
Grey cement float and white set plaster to internal
walls
Protective metal beading to external plastered corners
in entrance and main living areas
Single shelf and chrome rail to all Bedroom robes
Four white lined melamine shelves to Kitchen pantry
and Linen & Broom where applicable on standard plan
2 external garden taps
R 4.0 insulation batts to ceilings (excluding alfresco,
eaves and porch)
Colorbond® remote sectional door to garage with two
remote handsets
Balustrading where shown on plans to be powder
coated aluminium

WINDOWS

Quality aluminium windows and sliding doors with key
locks and flyscreens to openable windows &
doors.(excludes hinged, stacking & bi-fold doors)
Obscure glazing to Bathroom, Ensuite and WC
windows included

CEILINGS

31c high plasterboard ceiling internally to Ground floor
and 28c high to Upper floor, Garage, Alfresco, Porch &
Balconies where applicable. White set plaster finish to
underside of concrete slab where applicable
75mm plaster cornice to ceilings internally, Garage,
Alfresco & Porch
Hardiflex lining to eaves and external ceilings with
PVC joining strips

DOORS & DOOR FURNITURE

Corinthian® Solid core feature 1200mm front entrance
door with clear glazing and timber frame (if applicable)
Contemporary Gainsborough Trilock® Leverset to front
entry door
Corinthian® Duracote solid door to Garage/internal
door with SAMSUNG Smart Door Lock
Corinthian® Duracote solid door to Garage/external
with deadlock and lever handle
Flush panel hollowcore internal doors
Choice of Gainsborough® lever set handles to internal
doors with privacy locks to Ensuite, Bathroom and WC
Metal door frames throughout (excluding front door)
All lockable doors and aluminium doors keyed alike

PAINTING

Ceiling white matt finish to all internal ceilings,
cornices, Garage, Alfresco, Porch & Balcony ceilings.
Off white matt finish to all external Hardiflex ceilings
and linings
Gloss finish in choice of 1 colour to all internal doors
and frames, exposed timber, metalwork and exposed
structural steel (Internal wall painting not included)

CABINETRY

Choice of Laminex® or Formica® laminate prefinished
cupboards, doors and drawers with ABS edging and
choice of handles to all cabinetry
Soft closing drawers & doors throughout
One bank of 450mm wide 4 drawers and 7 pot drawers
(maximum 900mm wide) included to Kitchen where
shown on plan
Hafele pull out drawer with 2 x 15L pull-out bins
Dishwasher recess with single power point and cold
water supply to Kitchen
Overhead cupboards in prefinished board with ABS
edging to Kitchen where shown on plans.

Initials: _____ Date: _____
Initials: _____ Date: _____



TWO STOREY DELUXE SPECIFICATION

BENCHTOPS

Essastone® 30mm benchtop in choice of colour to Kitchen and Scullery (if shown on plan)
Waterfall edges to both sides of island bench (30mm to match benchtop thickness)
Essastone® 20mm benchtop in choice of colour to Ensuite,
Bathroom & Laundry

PLUMBING

Undermount double bowl stainless steel sink with basket wastes to Kitchen
Undermount stainless steel 45Lt sink to Laundry
Choice of chrome plumbing fixtures and accessories from Alder® or Vito Bertoni®
Seima white china basins with chrome pop up wastes to Bathroom's and Ensuite as indicated on plans
Seima wall faced white china toilet suite with soft closing seat & dual flush to Ensuite and WC
Linear drain to shower recess to Ensuite and Bathroom where shown on plan
Square profile chrome wastes in wet areas

APPLIANCES

BOSCH® 900mm stainless steel 5 burner gas hotplate with cast iron trivets
2 x BOSCH® 600mm electric stainless steel ovens (in wall or under bench) where shown on plan
900mm stainless steel canopy rangehood
21Lt BOSCH® Instantaneous gas hot water unit

ELECTRICAL

Single phase power included
RCD safety switches
2 x hard wired smoke detectors
Smartwire pack including 2 x TV /Data points, 1 x Data (phone) point & NBN approved Smart Wire Panel
1 x Double power point per room
Allowance for 20 LED downlights in white and 1 x light point per room to remainder
Waterproof light point to external exit points to house
Clipsal® Classic C2000 power points and light switches with choice of face plates
Square exhaust fans to showers and WC's
Kitchen rangehood and exhaust fans flued to external air

GLAZING

Clear glazed perimeter framed shower screens with frameless pivot doors to showers where applicable
Silver frameless polished edge mirrors to Ensuite and Bathroom vanities
Sliding door wardrobe system to robes where shown on plan. Choice of vinyl, mirror, or glasskote® finish

TILING

2m high tiling to showers
Hobless shower recesses throughout
2 rows tiling above bath in Bathroom
1 row tiling above vanity benchtops to Bathroom and Ensuite
2 rows of tiling to splashback above benchtop to Laundry
Tiling up to underside of rangehood or overhead cupboards and wall returns to Kitchen & Scullery where shown on standard plan
Floor tiles to Bathroom, Ensuite, Laundry, WC and Balconies where applicable
1 row skirting tiles to walls to Bathroom, Ensuite, Laundry, WC and Balconies where applicable
Mitred tiling included throughout
Tiling type, sizing and selection from builders range

PAVING

Up to 6m paved driveway included at width of garage
Paving included to Porch, Alfresco, Verandah and Paths where shown on plans.
Brikmakers® paving from the builder's standard range, all pavers laid in stretcherbond pattern
One colour choice applicable to all paving from builder standard range.

These specifications should be read in conjunction with your sales sketch and sales quote which form part of your preparation of plans agreement. In the event there is a conflict between these specifications and your sales sketch or sales quote, the sales sketch and sales quote will take precedence. All selections are to be made from the builder's standard range which is available upon request. The builder reserves the right to select alternative products of similar quality or performance at its sole discretion.

Initials: _____ Date: _____
Initials: _____ Date: _____

To: dionveldink@coralhomes.com.au
 From: tessdunning@coralhomes.com.au
 Subject: Current project: 7 Cassim Place

Hi Dion,

Yesterday you mentioned that you didn't know much about identifying physical resource requirements. Here is the important thing you need to know. To organise materials for a project you need to know what is required. This is when you read the bill of quantities, specifications, materials spreadsheet or create your own take offs.

Establish physical resource requirements

A bill of quantity (BOQ) and a materials list are documents used in the tendering process in the construction industry. The quantities may be measured in number, length, area, volume, weight or time, and assist in the calculation of the construction costs, and helps to ensure the tendering process and is fair and accurate. Please see attached the bill of quantities and below a list of materials that are being used for this project. However, sometimes the builder like to create their own bill of quantities and take-offs (material list) using the plans and specifications of the project. You may also need to refer to standard construction contracts for guidance. This way is to ensure that the final quote is comprehensive, and the final figure is as low as possible.

F5 pine studs	90 x 35	230/2400
	90 x 45	14/2400
MGP10 pine PLs	90 x 35	18/3600
		6/3900
		4/4200
		30/5400
Merch pine	90 x 35	23/4800
Masonite braceboard	2440 x 915 x 6.5	8 sheets
Mild steel angle bracing		10/3600
MGP10 pine joists		10/2400
		16/3600
		14/4200
		12/4500
Beams – MGP10	120 x 35	3/2100
	140 x 45	4/3000
	190 x 45	1/3600
	240 x 45	2/4800

F17 KDHW	190 x 45	5/3600
		4/3300
	240 x 45	1/3000
MGHP10 pine	90 x 45	37/4800
		38/4200
		8/3300
		4/2700
		12/2700
Roof material		14/3600
		4/5400
		2/6000
F7 pine	140 x 35	10/3600
		4/4500
		3/5400
		2/6000
LOSP fascia	190 x 30	2/4500
		3/540
		2/6000
		3/3300

Once you have a list of materials you need for construction its then time to locate suppliers for pricing and availability. You can find multiple supplier online, attending industry events and using your network from other projects. The key factors to choosing suppliers are – price, reliability, stability, location and supplier groups. Once you have a list of suppliers, ask them to send you a quote for the goods you are after, where appropriate you can request samples of the goods. Please see attached a tile quote with two options which could be added to the final project figure.

Hiring plant and equipment is not dissimilar to purchasing materials for the project. Plant refers to large mechanical machinery and equipment is smaller non-mechanical tools both are used on site. Ensure to contact suppliers for a quote as well, these costs will be added to the final project figure.

Please let me know if you need any more information regarding bill of quantities and quotes for materials and plant hire.

Thanks,

Tess Dunning
Contract Administrator

To: dionveldink@coralhomes.com.au
From: tessdunning@coralhomes.com.au
Subject: Current project: 7 Cassim Place

Hi Dion,

The next part of project construction is developing estimated project costs.

Labour Rates and Supplier Costs

Once you have picked a supplier you are happy with for your materials/plant hire you are to apply their provided costs to help develop your estimated project costs. One method of calculating such estimates is to cost by material and labour. See below an example calculation

Item	Quantities	Material Price (w/margin)	Labour (w/margin)
Framing timber	5	\$100.00 each	2 hr hour to install @ \$50 per hour

= \$1000.00 budget with margin

This is probably the most accurate method of creating a total cost/budget. Estimates may also be calculated by unit costs such as – tiling per square metre, painting per square metre and installation of pipes per metre.

Statutory Costs

A project also has to cover other additional costs which aren't in the contract, beyond the materials, hiring and labour. These additional costs can be called statutory costs, one very important statutory cost is WorkCover Insurance. Its compulsory in Queensland to insure workers against workplace accidents by tasking out an accident insurance policy with WorkCover Queensland.

There is also Environmental Protection Authority – Building a construction project can involve a lot of environmental related costs and the following should be considered – removal of asbestos, use of public land and waste/chemical substances etc. Other additional costs include required licences (eg. high risk and electrical workers), registration of vehicles and training for a Health & Safety representative. As stated previously overhead cost percentage is added at the end of the final calculation to ensure these things are covered and implemented if awarded.

Bill Summary

17 August 2009

example2

Example 2 Storey Design

	<u>Cost Centre</u>	<u>Amount</u>	
1.3	SILT CONTAINMENT \ EROSION CNTRL	\$220.00	.1 %
2	CONTOUR & SITE SURVEY	\$510.00	.2 %
3	BUILDING DESIGN \ DRAFTING	\$1,830.00	.7 %
3.1	COLOUR CONSULTANT	\$500.00	.2 %
3.3	ENERGY EFFICIENCY REPORTS	\$350.00	.1 %
4	ENGINEER	\$1,205.00	.5 %
5	CONTRACTORS INSURANCE	\$1,237.50	.5 %
6	Q.B.S.A INSURANCE	\$1,640.00	.7 %
6.5	Q-LEAVE	\$1,072.50	.4 %
7	COUNCIL FEES	\$1,949.64	.8 %
8	TOILET HIRE	\$960.00	.4 %
8.4	HIRE	\$200.00	.1 %
9	SITE EXCAVATION	\$650.00	.3 %
	100 PRELIM STAGE	\$12,324.64	5 %
13.5	CONCRETE PUMP - FOOTINGS/SLAB	\$1,200.00	.5 %
	125 CONCRETE PUMP	\$1,200.00	0 %
11	SURVEYOR HOUSE SET OUT	\$475.00	.2 %
13	DETAILED EXCAVATION	\$1,378.55	.6 %
15	FOOTINGS HARDWARE	\$1,485.99	.6 %
16	FOOTINGS CONCRETE	\$3,191.31	1.3 %
17	FOOTINGS LABOUR	\$816.60	.3 %
19.5	ELECTRICIAN INITIAL SITE WORKS	\$1,001.50	.4 %
20	PLUMBER - DRAINAGE	\$5,498.90	2.2 %
27	BEDDING SAND	\$1,125.00	.5 %
27.5	SEDIMENT GRAVEL	\$300.00	.1 %
28.5	SPOIL REMOVAL	\$200.00	.1 %
29	SLAB HARDWARE	\$2,834.93	1.1 %
30	SLAB CONCRETE	\$4,703.05	1.9 %
31	SLAB LABOUR	\$3,343.65	1.3 %
32.2	BACKFILL POWER TRENCH	\$101.00	.0 %
	125 SLAB STAGE	\$26,455.48	11 %
10	RETAINING WALLS	\$5,204.84	2.1 %
	150 RETAINING WALLS	\$5,204.84	2 %
28	TERMITE TREATMENT	\$1,402.20	.6 %
35	STICK FRAME LOWER FLOOR	\$8,975.42	3.6 %
35.1	FLOOR MATERIALS - UPPER FLOOR	\$6,724.65	2.7 %
35.2	STICK FRAME UPPER FLOOR	\$3,505.12	1.4 %
35.3	T & G FLOORING \ CLADDING	\$2,939.39	1.2 %
36	FRAME HARDWARE	\$2,195.23	.9 %
36.5	CARPENTER BUILDING WRAP	\$329.76	.1 %
37	PRE-FAB ROOF TRUSSES	\$8,831.05	3.6 %
38.1	CARPENTER FRAME	\$8,696.95	3.5 %



Bill Summary

17 August 2009

example2

Example 2 Storey Design

<u>Cost Centre</u>		<u>Amount</u>	
40	CRANE HIRE	\$450.00	.2 %
	300 FRAME STAGE	\$44,049.77	18 %
39	FASCIA AND GUTTERS	\$2,493.20	1.0 %
39.5	DECK GUARD RAIL	\$1,790.25	.7 %
41	ROOF COVERING	\$12,455.85	5.0 %
42	WATERPROOFING	\$1,222.00	.5 %
43	BATHS & SPA BATHS	\$239.00	.1 %
44	PLUMBER'S ROUGH IN	\$3,089.90	1.2 %
45	ELECTRICIAN'S ROUGH IN	\$4,763.05	1.9 %
45.1	GAS CONNECTION	\$875.00	.4 %
46	ALUMINIUM WINDOWS	\$8,034.65	3.2 %
47	EXTERNAL DOOR LOCKS	\$339.30	.1 %
48	EXTERNAL DOORS & JAMBS	\$895.50	.4 %
48.1	FIRST SITE CLEAN	\$800.00	.3 %
49	LOCK UP HARDWARE & SOFFIT SHEETS	\$1,406.41	.6 %
50	CARPENTER LOCK & SOFFITS	\$2,914.30	1.2 %
52	SCAFFOLDING INITIAL ERECTION	\$6,200.00	2.5 %
54	BRICKS	\$3,682.20	1.5 %
55	BRICK HARDWARE	\$505.40	.2 %
56	BRICKLAYER	\$11,588.10	4.7 %
56.5	MASONRY ARTICULATION	\$181.60	.1 %
58	INSULATION - WALL BATTS	\$654.91	.3 %
61	GARAGE DOORS	\$2,094.46	.8 %
	350 LOCK UP STAGE	\$66,225.07	27 %
59	WALL & CEILING LININGS	\$13,084.14	5.3 %
62	FINISHING HDWRE & INT DOOR KNOBS	\$729.80	.3 %
63	FINISHING TIMBER & INTERNAL DOOR	\$2,188.80	.9 %
64	INTERNAL STAIRS	\$2,010.00	.8 %
65	CABINETMAKER	\$9,129.56	3.7 %
67	CARPENTER FIXOUT	\$2,694.50	1.1 %
70	SPECIAL WALL APPLICATIONS	\$960.00	.4 %
71	CERAMIC TILES	\$1,177.42	.5 %
71.1	CERAMIC TILES (NON WET AREAS)	\$1,566.91	.6 %
72S	MAIN TILING JOINT SEALING	\$300.00	.1 %
72	CERAMIC TILER	\$4,547.90	1.8 %
73	SHOWER SCREENS-MIRRORS & S/DOORS	\$1,779.37	.7 %
78	SANITARY WARE	\$1,066.00	.4 %
78.5	PLUMBERS FIT OFF	\$3,101.23	1.3 %
80	PAINTER	\$8,101.48	3.3 %
81	WHITE GOODS	\$1,975.55	.8 %
84	TV ANTENNA	\$250.00	.1 %
85	FLOOR SANDING & POLISHING	\$657.24	.3 %
89.1	CARPENTER FINAL FIX	\$404.18	.2 %
90-1000	HOT WATER SYSTEM	\$645.00	.3 %
94	HOUSE CLEAN	\$808.35	.3 %
95	FINAL SITE CLEAN	\$2,450.00	1.0 %
110	WINDOW SERVICE	\$123.77	.0 %

Bill Summary

17 August 2009

example2

Example 2 Storey Design

<u>Cost Centre</u>		<u>Amount</u>	
115	PLUMBING APPROVAL INSTALL HOT-WS	\$266.20	.1 %
	400 FIX OUT STAGE	\$60,017.38	24 %
82	LIGHT FITTINGS	\$1,575.68	.6 %
83	CURTAINS/VENITIAN BLINDS/SHUTTER	\$1,636.60	.7 %
93	FLY SCREENS OR SECURITY SCREENS	\$2,902.48	1.2 %
98	FLOOR COVERINGS	\$2,875.78	1.2 %
	450 FURNISHINGS	\$8,990.54	4 %
86	BALUSTRADING & POOL FENCING	\$2,700.00	1.1 %
	500 EXT CARPENTRY	\$2,700.00	1 %
94-1000	INSULATION	\$1,498.05	.6 %
	500 INSULATION	\$1,498.05	1 %
88	CONCRETOR EXTERNAL	\$3,780.00	1.5 %
88.1	EXTERNAL CONCRETE HARDWARE	\$1,412.20	.6 %
88.2	EXTERNAL CONCRETE	\$3,098.80	1.2 %
88.3	EXTERNAL CONCRETE SAND	\$562.50	.2 %
88.4	EXTERNAL CONCRETE MACHINE HIRE	\$460.00	.2 %
103	FENCING	\$2,875.00	1.2 %
104	CLOTHES HOISTS \ LETTER BOXES	\$211.00	.1 %
	600 EXTERNAL WORKS	\$12,399.50	5 %
96	LANDSCAPING	\$1,240.00	.5 %
96.7	LANDSCAPING - PLANTS	\$2,500.00	1.0 %
96.9	LANDSCAPING - GARDEN EDGING	\$201.00	.1 %
	600 LANDSCAPING	\$3,941.00	2 %
105	ESTIMATING	\$915.75	.4 %
117	MAINTENENCE	\$455.00	.2 %
130	Power usage during construction	\$160.00	.1 %
	970 PRELIMINARIES	\$1,530.75	1 %
106	CONTINGENCY & THEFT	\$1,500.00	.6 %
	980 CONTINGENCIES	\$1,500.00	1 %

Bill Summary

17 August 2009

Total	\$248,037.02	100.0%	\$0.00	\$248,037.02
	SUPERVISION	3.0%		\$7,441.11
	OVERHEADS	3.0%		\$7,664.34
	RISK/PROFIT	8.0%		\$21,051.40
			Total	\$284,193.87
	Plus	10.00% GST		\$28,419.39
			Total	\$312,613.26

Bill of Quantities

1 April 2009

Job example2

Example 2 Storey Design

1.3 SILT CONTAINMENT \ EROSION CNTRL

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6946	Provide sediment control fence fixed price Notes: 1.0 Location - {sediment control fence location} 2.0 Installation Date - {sediment control install date}	1	Off	\$220.00	\$220.00	1	1
Total 1.3 SILT CONTAINMENT \ EROSION CNTRL					\$220.00		

2 CONTOUR & SITE SURVEY

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0101	Contour Survey - Includes Registered Plan & Sewerage Plan The following must be supplied on every plan 1:200 scale position of water meter position of power box nominate if under power ground or above ground contours are to be spaced at 250mm centres nominate tree diameters please show sewer & stormwater main depths	1	Off	\$350.00	\$350.00	1	1
0101-ahd	Email plans to - {draftsman} Extra for AHD Survey	1	Off	\$160.00	\$160.00	1	2
Total 2 CONTOUR & SITE SURVEY					\$510.00		

3 BUILDING DESIGN \ DRAFTING

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
01211	Drafting of single storey houses including site plans (less cost of sketch plans)	305	m2	\$6.00	\$1,830.00	1	1
Total 3 BUILDING DESIGN \ DRAFTING					\$1,830.00		

3.1 COLOUR CONSULTANT

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
colours	Preparation of Colour Selection, including client consultation Note: 1.0 Where possible it is preferred for clients to stay with the builders standard range.If you are unsure if something is standard, then please phone for confirmation. 2.0 Owners Contact Number: {owners ph} 3.0 Contract Type - {contract type} 4.0 Clients Name - {clients name}	1	Off	\$500.00	\$500.00	1	1
Total 3.1 COLOUR CONSULTANT					\$500.00		



Bill of Quantities

1 April 2009

Job example2 Example 2 Storey Design

3.3 ENERGY EFFICIENCY REPORTS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
03908	Provision of "Energy Efficiency Certificate" double storey houses more than 240 m2	1	Off	\$350.00	\$350.00	1	1
Total 3.3 ENERGY EFFICIENCY REPORTS					\$350.00		

4 ENGINEER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0141	Engineer's Soil testing & footing and slab design Note: 1.0 Registered Plan No. {RP number} 2.0 House Design - {house design} 3.0 Slab Design Type - {slab type} 4.0 External Concrete - {ext concrete by owner or builder} 5.0 Contract Type - {contract type} 6.0 Where conventional slabs are used, if possible, please keep internal slab beams below 200mm deep 7.0 Compaction tests available ? - {compaction reports for this site ?}	1	Off	\$500.00	\$500.00	1	1
01410	Engineer's masonry articulation design Note: 1.0 Masonry articulation to be nominated on slab plan, or other suitable plan. 2.0 Bricks being used - {engineer - double or single height bricks} 3.0 Width of bricks - {engineer - width of bricks 110mm or 90mm}	1	Off	\$20.00	\$20.00	1	1
0142	Footing Inspection	1	Off	\$150.00	\$150.00	1	2
0143	Slab Inspection	1	Off	\$150.00	\$150.00	1	2
0144	Design and supply drawings for retaining walls (per design type)	1	Off	\$150.00	\$150.00	1	3
01445	Retaining wall inspection	1	Off	\$150.00	\$150.00	1	3
0148	Wind loading recommendation at time of soil test	1	Off	\$85.00	\$85.00	1	1
Total 4 ENGINEER					\$1,205.00		

5 CONTRACTORS INSURANCE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
01611	Contractors Insurance for building during construction	275000	/1000	\$4.50	\$1,237.50	1	1
Total 5 CONTRACTORS INSURANCE					\$1,237.50		

6 Q.B.S.A INSURANCE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
01781	QBSA INSURANCE PREMIUM 0.79% OF CONTRACT VALUE MINIMUM \$156.4 MAXIMUM PAYBLE \$ 2835.25 PER DWELLING (\$400'000 contact)	200000	/1000	\$8.20	\$1,640.00	1	1
Total 6 Q.B.S.A INSURANCE					\$1,640.00		

Bill of Quantities

1 April 2009

Job example2

Example 2 Storey Design

6.5 Q-LEAVE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0163	COMBINED PLSL & WPHS FEES PAYABLE AT THE POST OFFICES PRIOR TO BA FOR JOBS OVER \$80'000	275000	/1000	\$3.90	\$1,072.50	1	1
Total 6.5 Q-LEAVE					\$1,072.50		

7 CERTIFICATION & COUNCIL FEES

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
01975	Certification Application & Building Approvals - Double Storey	1	Off	\$400.00	\$400.00	1	1
0198	Certification Application & Building Approvals on site Inspections (frame & final)	1	Off	\$220.00	\$220.00	1	1
	Frame Inspection Date - {frame inspection date}						
0199	Local Government Archive fee	1	Off	\$93.64	\$93.64	1	1
0200-cab-1	Caboolture shire plumbing application fee	1	Off	\$80.00	\$80.00	1	1
0200-cab-4	Caboolture shire plumbing design over 240m2	1	Off	\$380.00	\$380.00	1	1
0200-cab-5	Caboolture Shire Council Sewer Connection	1	Off	\$315.00	\$315.00	1	1
0200-cab-6	Caboolture shire flood search	1	Off	\$60.00	\$60.00	1	1
0200-cab-7	Caboolture shire domestic lodgement	1	Off	\$83.00	\$83.00	1	1
0202	20mm Water Connection application	1	Off	\$200.00	\$200.00	1	1
02021	Information Package (Bi-Map Search, City Plan Search & Drainage Plan)	1	Off	\$58.00	\$58.00	1	1
0227	Additional plumbing fixtures	1	Off	\$60.00	\$60.00	1	1
Total 7 CERTIFICATION & COUNCIL FEES					\$1,949.64		

8 TOILET HIRE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0395	Fresh Flush Toilet Hire 12 weeks	1	Off	\$600.00	\$600.00	1	1
0401	Chemical Toilet - extra hire after 12 weeks	8	weekly	\$45.00	\$360.00	1	2
Total 8 TOILET HIRE					\$960.00		

8.4 HIRE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2629	Miscellaneous hire allowance - Confirm requirements & advise if an order is to be raised from the office	1	Off	\$200.00	\$200.00	1	1
Total 8.4 HIRE					\$200.00		

9 SITE EXCAVATION

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0447-500	Site Excavation to 500 cut, spoil to be track rolled on site to make building pad	1	Off	\$650.00	\$650.00	1	1



Bill of Quantities

1 April 2009

Job example2

Example 2 Storey Design

9 SITE EXCAVATION

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
Total 9 SITE EXCAVATION					\$650.00		

10 RETAINING WALLS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0552-600	600mm high sleeper retaining wall	68.3	per lin mtr	\$65.00	\$4,439.50	1	1
0552-back	Bobcat hire allowance to backfill retaining walls (sleeper walls)	40.98	m2	\$8.00	\$327.84	1	1
1669-grv	Gravel for backfilling behind retaining walls (delivered to site)	12.5	M3	\$35.00	\$437.50	1	1
Total 10 RETAINING WALLS					\$5,204.84		

11 SURVEYOR HOUSE SET OUT

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0569	Surveyor House Set Out Base Point, check pad for level and advise builder immediately if pad not level.	1	Off	\$250.00	\$250.00	1	1
Note:							
1.0 Provide a peg showing pad & slab height at set out stage							
2.0 Pegs are to protrude 50mm minimum from the finished ground level.							
3.0 Confirm that the boundary setbacks are as per plan, advise the builder if the plan or minimum requirements are not complied with							
05691	Set out & pin points for brickwork, posts etc. (surveyor)	15	Off	\$15.00	\$225.00	1	1
Total 11 SURVEYOR HOUSE SET OUT					\$475.00		

13 DETAILED EXCAVATION AND SANDUP

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0690-lm	Footing Excavation (bobcat / excavator hire)	60.6	per mtr	\$5.00	\$303.00	1	1
0702-lm4	Drill 450mm Diameter footing / slab piers (bobcat / excavator hire)	18.6	per mtr	\$10.00	\$186.00	1	1
Note:							
1.0 Piers exceeding 1.0 mtr in depth are to have the slab mesh placed over them to provide protection from someone falling into them.							
0691-m2B	Sand up for main house slab with internal beams & fill services trench (power, phone & water) bobcat/excavator	159.91	m2	\$5.00	\$799.55	1	1

Bill of Quantities

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Job example2

Example 2 Storey Design

13 DETAILED EXCAVATION AND SANDUP

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0690-ImptF	Services Trench (power, phone & water) for 10.0 mtr setback (bobcat / excavator hire)	1	Off	\$50.00	\$50.00	1	1
0690-Impt	Services Trench (power, phone & water) (bobcat / excavator hire)	8 per mtr		\$5.00	\$40.00	1	1
Total 13 DETAILED EXCAVATION AND SANDUP					\$1,378.55		

13.5 CONCRETE PUMP - FOOTINGS/SLAB

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0694-30s	Concrete pump, fixed price for first 30m3 (small jobs)	2	Off	\$600.00	\$1,200.00	1	1
Total 13.5 CONCRETE PUMP - FOOTINGS/SLAB					\$1,200.00		

15 FOOTINGS HARDWARE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0763	3 BAR F11 200 X 6000	12	Off	\$43.20	\$518.40	1	1
0772	Y12 800 x 200 mm Slab Tie (one cog total length 1000mm)	140	each	\$2.61	\$365.40	1	1
07730	Z Bars -	135	each	\$2.29	\$309.42	1	1
	material spec - {z bar material - r10 ?}						
	bottom leg - {z bar top leg - 200 ?}						
	Z leg vertical height - {z bar vertical height total slab & beam less 100mm}						
	top leg - {z bar bottom leg - 200 ?}						
0813	TMS65 Trench Mesh Chairs (PK OF 5)	60	20 roundir	\$2.93	\$175.77	1	1
0961	Delivery	1	Off	\$117.00	\$117.00	1	1
	Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.						
	Total 15 FOOTINGS HARDWARE				\$1,485.99		

16 FOOTINGS CONCRETE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
09621	Concrete - Footings (inc waste)	10.4	m3	\$158.00	\$1,643.20	1	1
09624	Concrete	6.032	m3	\$158.00	\$953.06	1	1
	footing & slab piers						
	extra thickenings to internal slab piers						
0966	Concrete Supply - Piers	3.6	m3	\$158.00	\$568.80	1	1
09872-load	Minimum load charge	1	Off	\$26.25	\$26.25	1	1
Total 16 FOOTINGS CONCRETE					\$3,191.31		

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Job example2 Example 2 Storey Design

17 FOOTINGS LABOUR

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0990	Concretor - Prepare & place concrete to footings (clean out strip footings & place trench mesh including chairs etc)	60.6	m	\$11.00	\$666.60	1	1
09942	Concretor - Place Concrete to Piers - Clean Out Pad Footings # see engineers plans, 450diameter piers	15	m	\$10.00	\$150.00	1	1
note	Please Note: Special post bracket supports required on this job	3	Off	\$0.00	\$0.00	1	1
Total 17 FOOTINGS LABOUR					\$816.60		

19.5 ELECTRICIAN INITIAL SITE WORKS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
3185	Single Phase Meter Box & Board with Circuit Breakers Including ELCB (hot wire) Note: 1.0 All meter boxes are to comply with current safety requirements including, but not limited to, The Electrical Safety Act & regulations & Inclusive of part 5 div 5, sub 3, & AS/NZS3012 2.0 Contract Type - {contract type} 3.0 Energex Ref no. {energex ref no}	1	Off	\$632.50	\$632.50	1	1
3188	Underground Mains for 10.0 mtr setback assuming 2 mtrs extra for run up wall to box from bottom of trench	1	Off	\$165.00	\$165.00	1	1
3189	Single Phase Underground Power Mains (16mm Cable) - (up to 80.0 mtr setback)	8	per mtr	\$18.00	\$144.00	1	1
31979	First phone point - call up and pre-wire	1	Off	\$60.00	\$60.00	1	1
Total 19.5 ELECTRICIAN INITIAL SITE WORKS					\$1,001.50		

20 PLUMBER - DRAINAGE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
1079	Gully trap with grate (PVC) - supply & install. (If in concrete leave grates on site for concretor to place.)	2	Off	\$88.00	\$176.00	1	1
1115	Pressure Limiting Valve	1	Off	\$132.00	\$132.00	1	1
note	Please Note: Assess Site & Confirm of extra drainage requirements, ie yard gullies. # FLOOR WASTE REQUIRED IN LAUNDRY ##	2	Off	\$0.00	\$0.00	1	1
plmb-10005	Plumbers special notes: 1.0 Caps are to be provided to all drainage points 2.0 The hot water system overflow pipe is to be connected to the stormwater system with fixed grate 3.0 Please check the floor plans for nominated floor waste's & install all floor waste's shown 4.0 Owners Contact Number: {owners ph} 5.0 DPI fire ant inspection report number {fire ant inspection report number} 6.0 Assess the site for surface water run off & leave capped off blank pipes for the owners use after handover. 7.0 The soil classification on this site is "{soil type site H etc}" 8.0 Downpipes - {cb DP S PAINTED PVC OR CB}	1	Off	\$26.62	\$26.62	1	1

Fire ant zone obligations

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Job example2

Example 2 Storey Design

20 PLUMBER - DRAINAGE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
plmb-10070	a. No soil is to leave restricted area's						
	b. A site inspection is required prior to disturbing soil						
	c. Movement certification forms are required to move materials from site						
	d. A risk management plan must be implemented						
	e. machinery must be cleaned before leaving site						
plmb-10070	Hi-Set underslab drainage double bathroom house kitchen, laundry & seperate toilet to 300m2 - 60 sew & 70 storm - 8D/P	1	Off	\$4,991.25	\$4,991.25	1	1
Note:							
1.0 Please check the floor plans for nominated floor waste's & install all floor waste's shown							
Rubbish:							
1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.							
2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.							
plmb-11300	slab on ground powder room underslab drainage, 1 toilet & 1 vanity	1	Off	\$173.03	\$173.03	1	1
Total 20 PLUMBER - DRAINAGE					\$5,498.90		

27 BEDDING SAND

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
1668-delc	Delivery for sand & gravel to "Caboolture"	50	Tonne	\$10.00	\$500.00	1	1
1668-ton	Under slab fill (ex bin)	50	Tonne	\$12.50	\$625.00	1	1
Note:							
1.0 materials must not be placed on the road, footpath or within 2.0 mtrs of the house area (2.6 mtrs from wall, 2.0 mtrs from eaves)							
2.0 Overages shall not be paid, please only supply the quantities requested.							
Total 27 BEDDING SAND					\$1,125.00		

27.5 SEDIMENT GRAVEL

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
6947	Excavate driveway & supply & install gravel to council requirements (bobcat / excavator hire)	1	Off	\$300.00	\$300.00	1	1
Total 27.5 SEDIMENT GRAVEL					\$300.00		

28 TERMITE TREATMENT

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
16911	Termi-Mesh - Boxed Slab Note: extra minimim 400mm long of mesh to be left out at entry to garage doors. External concreting to - {ext concrete for termimesh} - please leave mesh to suit	52.2	m	\$21.00	\$1,096.20	1	2

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Job example2

Example 2 Storey Design

28 TERMITE TREATMENT

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
1693	TERMI MESH FLOOR PENETRATION (with perimeter Termimesh) Note: 1.0 Slab Design Type - {slab type} 2.0 Downpipes - {cb DP S PAINTED PVC OR CB}	14	Off	\$18.00	\$252.00	1	1
16935	TERMI MESH PENETRATION - POWER	1	Off	\$18.00	\$18.00	1	1
16936	TERMI MESH PENETRATION - PHONE	1	Off	\$18.00	\$18.00	1	1
16937	TERMI MESH PENETRATION - WATER	1	Off	\$18.00	\$18.00	1	1
note	Please Note: # MINIMUM 400MM EXPOSED MESH TO BE LEFT AT DRIVEWAY - SEE DETAILS ON PLANS ##	1	Off	\$0.00	\$0.00	1	1
Total 28 TERMITE TREATMENT					\$1,402.20		

28.5 SPOIL REMOVAL

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6931-zspec	Extra clean up & dump fee's to spread or remove soil & remove site spoil or green waste for "Estate" construction work.	1	Off	\$200.00	\$200.00	1	1
Total 28.5 SPOIL REMOVAL					\$200.00		

29 SLAB HARDWARE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0763	3 BAR F11 200 X 6000	9	Off	\$43.20	\$388.80	1	1
07691	Y12 600 x 600 Corner Bars	26	Off	\$2.73	\$70.94	1	1
0803	F82 MESH	14	Off	\$136.80	\$1,915.20	1	1
0814	BAR CHAIRS SOG5065 (PK OF 100) (for conventional slabs)	200	per 100	\$35.10	\$70.20	1	1
0831	POLYTHENE 50Mx4M BLACK 200um	1	roll	\$142.88	\$142.88	1	1
0840	DUCT TAPE 50mm X 30 mtr	2	roll	\$5.95	\$11.91	1	1
1716	F72 FOR SITE BIN	1	sheet	\$135.00	\$135.00	1	1
1910	DELIVERY	1	Off	\$100.00	\$100.00	1	1
Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.							
Total 29 SLAB HARDWARE					\$2,834.93		

30 SLAB CONCRETE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0969	Concrete supply - slab edge beam	7.6	m3	\$158.00	\$1,200.80	1	1
0970	Concrete - Main slab	16.8	m3	\$158.00	\$2,654.40	1	1
09711	Concrete - Slab thickening beams (inc waste)	5.2	m3	\$158.00	\$821.60	1	1
09872-load	Minimum load charge	1	Off	\$26.25	\$26.25	1	1
Total 30 SLAB CONCRETE					\$4,703.05		

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Job example2

Example 2 Storey Design

31 SLAB LABOUR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
1018	Concretor - prepare & place slab over 100m2 (screed sand bed, vapour barrier, place mesh on chairs and finishing etc)	159.91	m2	\$15.00	\$2,398.65	1	1
10331	Concretor - place detailed internal slab beams	90	m	\$10.50	\$945.00	1	1
Total 31 SLAB LABOUR					\$3,343.65		

32.2 BACKFILL POWER TRENCH

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0690-impz	Back fill Services trench. power, phone & water (supervisor to call up if required) N	8	per mtr	\$2.00	\$16.00	1	1
0691	Bobcat Hire - Hourly rate Extra bobcat hire to tidy up site whilst backfilling services trenches	1	hour	\$85.00	\$85.00	1	1
Total 32.2 BACKFILL POWER TRENCH					\$101.00		

35 STICK FRAME LOWER FLOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2395	Tasbeam 300x85 18C Appearance B bearers 2/5.1	10.2	per lin mtr	\$126.50	\$1,290.30	1	1
24100011	VERANDAH POST 125x125 SEL. HWD DPR 1/5.7 1/3.0 1/2.7	11.4	m	\$55.00	\$627.00	1	1
2434-230	Tasbeam 17c, Appearance B, 230x65 patio beams 1/5.1 1/3.4	8.5	per lin mtr	\$51.29	\$435.95	1	1
2434-260	Tasbeam 17c, Appearance B, 260x65 garage door beam 1/5.1	5.1	per lin mtr	\$60.50	\$308.55	1	1
2434-425	Tasbeam 17c, Appearance B, 425x65 bearer 1/6.0	6	per lin mtr	\$181.50	\$1,089.00	1	1
24541	Lintels - check sizes if shown on plans 2/3.6 6/2.4 6/2.1 8/1.8 4/1.5 5/1.2 2/0.9	62.4	m	\$25.00	\$1,560.00	1	1
2536	DELIVERY Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.	1	Off	\$150.00	\$150.00	1	1
2546	Ply Brace 2440x900 - F14 4mm STRUCTURAL BRACING PLYWOOD Extra sheet of ply to protect the bath tub	30	sheet	\$16.00	\$480.00	1	1
7855	70 X 35 F5 Pine framing long lengths -must supply 4.8 to 6.0 mtr lengths (Supply F5, non structural or HI not accepted) Bulkheads 1.0/25 External Bottom Plates 1.0/60 External Nogging 1.0/60 Gable Framing 1.0/10 Internal Bottom Plates 1.0/45 Internal Nogging 1.0/45 Temporary Bracing 75/1.0	320.7	m	\$1.55	\$497.41	1	1
78558	70 X 35 PINE(MGP10) (Studs DTL where possible) Internal Studs 85/2.4	204	m	\$1.55	\$316.40	1	1



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Job example2

Example 2 Storey Design

35 STICK FRAME LOWER FLOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
7859	70 X 35 PINE(MGP12) - (Studs DTL where possible)	886.2	m	\$2.40	\$2,126.88	1	1
	External Ribbon Plates 1.0/60						
	External Studs 190/2.4						
	External Top Plates 1.0/60						
	Internal Ribbon Plates 1.0/45						
	Internal Studs 50/2.4						
	Internal Top Plates 1.0/45						
	Parapet framing 1/100.0						
7861	90 X 35 PINE(MGP12)	39.3	m	\$2.39	\$93.93	1	1
	Internal Bottom Plates 1.0/5.1						
	Internal Nogging 1.0/5.1						
	Internal Studs 10/2.4						
	Internal Top Plates 1.0/5.1						
Total 35 STICK FRAME LOWER FLOOR					\$8,975.42		

35.1 FLOOR MATERIALS - UPPER FLOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
23202	HYPAN 300 X 63 - LVL	2.4	m	\$34.03	\$81.67	1	1
	void trimmer at stairwell 1/2.4						
2442-30063	Hyjoist HJ 300 x 63	358.8	m	\$11.85	\$4,252.43	1	1
	blocking 6/6.0						
	entry 4/10.8 2/5.7						
	garage 6/6.0						
	hallway 4/5.4						
	kitchen 11/7.8						
	library 8/6.3						
	living 6/7.2 8/3.9						
2477	85x19 SHOT EDGE - Hardwood - Merbeau, Yellow	75.6	m	\$4.10	\$310.19	1	1
	Balau, Spotted Gum etc						
2536	DELIVERY	1 Off		\$150.00	\$150.00	1	1
	Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.						
25364	F14 HWD 175x75 DPR	2.4	m	\$26.35	\$63.23	1	1
	deck bearer 1/2.4						
253702-4.5	F14 HWD 150x50 DPR up to 4.5 mtrs	18	m	\$15.40	\$277.20	1	1
	deck joists 6/3.0						
25380	F14 HWD 225x25 DPR	5.4	m	\$18.48	\$99.79	1	1
	deck joist facing 1/3.0 1/2.4						
2613	AQUA-BAR FLOORING 3600 X 900 X 19	30	sheet	\$41.09	\$1,232.62	1	1
	MULTIPURPOSE YELLOW TONGUE						
2614	AQUA-BAR FLOORING 3600 X 900 X 19mm	6	sheet	\$42.92	\$257.54	1	1
	WET AREA YELLOW TONGUE						
Total 35.1 FLOOR MATERIALS - UPPER FLOOR					\$6,724.65		

35.2 STICK FRAME UPPER FLOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2434-230	Tasbeam 17c, Appearance B, 230x65	5.1 per lin mtr		\$51.29	\$261.57	1	1
	1/5.1						
24541	Lintels - check sizes if shown on plans	24	m	\$25.00	\$600.00	1	1

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Job example2

Example 2 Storey Design

35.2 STICK FRAME UPPER FLOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2536	DELIVERY	1 Off		\$150.00	\$150.00	1	1
	Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.						
2546	Ply Brace 2440x900 - F14 4mm STRUCTURAL BRACING PLYWOOD	6 sheet		\$16.00	\$96.00	1	1
	Extra sheet of ply to protect the bath tub						
7855	70 X 35 F5 Pine framing long lengths -must supply 4.8 to 6.0 mtr lengths (Supply F5, non structural or HI not accepted)	325.2 m		\$1.55	\$504.39	1	1
	External Bottom Plates 1.0/30 1.0/25						
	External Nogging 1.0/30 1.0/25						
	Internal Bottom Plates 1.0/55						
	Internal Nogging 1.0/55						
	Internal Top Plates 1.0/55						
	Temporary Bracing 50/1.0						
78558	70 X 35 PINE(MGP10) (Studs DTL where possible)	408 m		\$1.55	\$632.81	1	1
	Internal Studs 170/2.4						
7859	70 X 35 PINE(MGP12) - (Studs DTL where possible)	386.4 m		\$2.40	\$927.36	1	1
	External Bottom Ribbon Plates 1.0/60						
	External Ribbon Plates 1.0/30 1.0/25						
	External Studs 90/2.4						
	External Top Plates 1.0/30 1.0/25						
7859S	70 X 35 PINE(MGP12) - Stud Lengths (DTL where possible)	180 m		\$1.85	\$333.00	1	1
	External Studs 75/2.4						
Total 35.2 STICK FRAME UPPER FLOOR					\$3,505.12		

35.3 T & G FLOORING \ CLADDING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2737	DELIVERY	1 Off		\$30.00	\$30.00	1	1
	Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.						
3521	Shadowclad - 12.5mm - 2.440, 2.745, 3.050 x 1.216mm (	70.69 m2		\$32.45	\$2,293.89	1	1
354656	Aluminium Shadowclad internal corner - 3050	4 Off		\$43.10	\$172.40	1	1
354659	Aluminium Shadowclad external corner - 3050	7 Off		\$63.30	\$443.10	1	1
Total 35.3 T & G FLOORING \ CLADDING					\$2,939.39		

36 FRAME HARDWARE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2551	50 x 50 x 3.0 mm WASHERS TO SUIT 12mm DIA. BOLT	190 each		\$0.26	\$49.40	1	1
25511	1 Ltr of Oil Based Primer	1 Off		\$17.21	\$17.21	1	1
255111	75mm Paint Brush	1 Off		\$7.70	\$7.70	1	1
255112	1 Ltr of Turps	1 Off		\$5.25	\$5.25	1	1
25530	BATTEN SCREWS 14 x 75	20 each		\$0.22	\$4.40	1	1
	extra allowed for transfer blocks						
2554	NAIL 1 KG BOX GAL CLOUTS 30 x 2.8 mm	10 Kg.		\$8.80	\$88.00	1	1

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Job example2

Example 2 Storey Design

36 FRAME HARDWARE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
25555411	HOOP IRON 10Mx30mmx1.0mm	1	Off	\$18.90	\$18.90	1	1
2556	HOOP IRON 20Mx30mmx1.0mm	3	roll	\$20.00	\$60.00	1	1
2561	65mm Concrete Nails (box quantity 100)	2	packet	\$9.10	\$18.20	1	1
25641	125 X 600 POST SUPPORTS 'U' TYPE	3	Off	\$22.85	\$68.55	1	2
2566	12mm DIA. HOLE HEX NUTS	131	Off	\$0.13	\$17.03	1	1
2567	2.440 M12 CYCLONE ROD	30	Off	\$3.50	\$105.00	1	1
2569	1/2" CYCLONE ROD ONLY 3.040M LENGTH - M12	51	Off	\$4.00	\$204.00	1	1
2571	COUPLERS / JOINERS CYCLONE ROD 12 MM	81	Off	\$0.50	\$40.50	1	1
2575	MULTI-GRIPS With CLOUTS	110	each	\$0.40	\$44.00	1	1
2576	SN4C NAIL PLATES	90	each	\$0.35	\$31.50	1	1
25831	BOLT/NUT/WASHER C/H GALV 150x12mm	10	Off	\$0.99	\$9.90	1	1
25841	BOLT/NUT/WASHER HEX GALV 150x12mm.	6	Off	\$0.99	\$5.94	1	1
2617	CSR FLOORMATE ADHESIVE 300ml	16	Off	\$4.18	\$66.82	1	1
2618	GALV BULLET HEAD NAILS 50x2.8	1.5	Kg.	\$8.55	\$12.83	1	1
2632	HJ300 - JOIST HANGER	40	Off	\$6.38	\$255.20	1	1
	joist hanger to suit - {main floor joist hangers}						
2737	DELIVERY	1	Off	\$30.00	\$30.00	1	1
	Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.						
2737	DELIVERY	2	Off	\$30.00	\$60.00	1	2
	Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.						
3651	Tyvek wall Barrier Insulation - flamestop fire retardant 1350 x 60 m roll	2	Off	\$162.45	\$324.90	1	1
3652	732 AG NON FIRE RETARD 1350 X 60M ROLL - light grade	3	roll	\$116.50	\$349.50	1	1
3654	Foil Fasteners (for builders paper) - pack of 500	2500 /500		\$17.50	\$87.50	1	1
3660	CENFRAME IN-WALL SLIDER SUIT 720 DOOR (90mm frame)	1	Off	\$90.00	\$90.00	1	1
5065	CHEMSET INJECTION SYSTEM KIT POLYESTER 2 PACK & 2 NOZZELS	1	Off	\$63.00	\$63.00	1	1
50651	STUD BOLTS SUIT CHEMSET INJECTION SYSTEM KIT	50	EACH	\$1.20	\$60.00	1	1
Total 36 FRAME HARDWARE					\$2,195.23		

36.5 CARPENTER BUILDING WRAP

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
09031	Carpentry - Install Builders Paper	329.76	m2	\$1.00	\$329.76	1	1
Total 36.5 CARPENTER BUILDING WRAP					\$329.76		

37 PRE-FAB ROOF TRUSSES

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2781-25	Note: Roof Trusses Provisional Allowance for extra pitch to 25.0 degree - cantilever to brick line - refer plans	117.82	m2	\$20.00	\$2,356.40	1	1
2783	Roof Trusses - Quotes Required	184.99	m2	\$35.00	\$6,474.65	1	1
Total 37 PRE-FAB ROOF TRUSSES					\$8,831.05		

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Job example2

Example 2 Storey Design

38.1 CARPENTER FRAME

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0895	Carpentry to trussed verandahs, patios, porches, sala's etc. Includes framing up boxed in beams ready for sheeting.	30 m2		\$20.00	\$600.00	1	1
0901	Carpentry - Verandah, patio, Balcony, Deck - Floor - Including Installation of nail plates, joist hangers, beams etc	5.8 m2		\$20.00	\$116.00	1	1
2789	Carpentry - Lowset house 2.4 high ceiling, Includes erection of full frame, bath instal, gun nails - Frame Inspection	50.37 m2		\$22.00	\$1,108.14	1	1
27891	Carpentry - Lay shot edge decking to verandah / balcony.	5.8 m2		\$20.00	\$116.00	1	1
2790	Carpentry - Lower level of two storey home, includes full frame, bearers, flooring, joists, gun nails - frame inspection	109.54 m2		\$30.00	\$3,286.20	1	1
279000	Carpentry - Upper level of a two storey home, includes full frame, truss erection, bath, gun nails - frame inspection	109.54 m2		\$28.00	\$3,067.12	1	1
28072	Carpentry - Frameup / battens for dropped ceilings	22.5 m		\$1.00	\$22.50	1	1
bath	Carpentry - Bath Frame - Check bath colour before installation	1 Off		\$0.00	\$0.00	1	1
27931	Carpentry - Erect Parapet wall framing, ensure sufficient stiffness is obtained.	6.9 m		\$15.00	\$103.50	1	1
2789-sheet	Carpentry - extra labour to tie-down sheet roofs	184.99 m2		\$1.50	\$277.49	1	1
Total 38.1 CARPENTER FRAME					\$8,696.95		

39 FASCIA AND GUTTERS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
28402	Set out & Labour allowance for sloping fascia & gutter (internal dragdown)	2 Off		\$28.49	\$56.98	1	1
2841	Supply & Install Colorbond Fascia & Gutter Colours: 1.0 Fascia Colour - {cb FASCIA COL} 2.0 Gutter Colour - {cb GUTTER COL} 3.0 Barge colour - {cb barge colour} 4.0 Gutter Profile - {cb GUTTER PROFILE} 5.0 Downpipes - {cb DP S PAINTED PVC OR CB}	79.2 per mtr		\$21.59	\$1,710.26	1	1
Rubbish:							
1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided. 2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.							
2841-cnr	includes fascia & gutter to dragdowns Supply & Install Colorbond Fascia & Gutter corners	11 per mtr		\$7.98	\$87.74	1	1
2846	Highset Allowance for fascia & gutter (includes safety requirements)	1 each		\$157.50	\$157.50	1	1
2848	Supply & Install Colorbond Barge Only barge allowed to dragdowns	2 per mtr		\$13.79	\$27.58	1	1

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Job example2 Example 2 Storey Design

39 FASCIA AND GUTTERS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
28501	Flashings - Supply & Install over flashing to parapet	6.9 m		\$28.49	\$196.57	1	1
28502	Flashings - Supply & Install face flashing to parapet	6.9 m		\$28.49	\$196.57	1	1
3042	Delivery	1 Off		\$60.00	\$60.00	1	1
Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.							
Total 39 FASCIA AND GUTTERS					\$2,493.20		

39.5 DECK GUARD RAIL

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2840	Deck Guard Rail Working Platform for above 3.0 mtrs	62 per mtr		\$28.88	\$1,790.25	1	1
Total 39.5 DECK GUARD RAIL					\$1,790.25		

40 CRANE HIRE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
079	Crane Hire	3 hour		\$150.00	\$450.00	1	2
Note:							
Please advise of extra costs immediately to ensure compliance of invoicing \ payments							
Total 40 CRANE HIRE					\$450.00		

41 ROOF COVERING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2845-1000	Supply & Install Colorbond valleys, including metal battens	14.6 per mtr		\$40.56	\$592.12	1	1
2999	Colorbond Whirlybirds, supplied & installed	2 Off		\$191.63	\$383.25	1	1
Position - {whirlybird position}							
Main Roof Colour - {cb ROOF COL}							
Whirly Bird Colour - {whirlybird colour}							
30001	Light weight sarking for sheet roofs	244.21 m2		\$3.34	\$816.03	1	1
3011-1000	Supply & Place Colorbond roof sheeting including metal battens up to 25.0 degrees pitch	244.21 m2		\$29.00	\$7,082.09	1	1
Note:							
1.0 Roof Colour - {cb ROOF COL}							
2.0 Roof to be sarked - {cb ROOF SARKED}							
3.0 Wind Speed - {wind speed}							
4.0 Truss centers - {truss crs}mm							
5.0 A Baffle is required to divert the flow of water into the gutter where verandah roofs are flashed onto brickwork.							
3012-1000	Supply & Install Colorbond Ridge Capping, including metal battens	8.1 m		\$25.53	\$206.78	1	1
3012-2000	Supply & Install Colorbond Hip Capping, including metal battens	54.9 m		\$43.05	\$2,363.45	1	1
3013	Colorbond Metal Roof barge Cap	00.9 m		\$17.98	\$16.18	1	1

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Job example2

Example 2 Storey Design

41 ROOF COVERING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3020	Colorbond metal flashings	26.7	m	\$19.16	\$511.64	1	1
3021	Colorbond flashing - stepped or sloping	4.2	m	\$32.81	\$137.81	1	1
3029	Highset allowance for roof sheeting	220	m2	\$1.58	\$346.50	1	1
Total 41 ROOF COVERING					\$12,455.85		

42 WATERPROOFING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
30429	Seal & Waterproof bathtub Rubbish:	1	Off	\$140.00	\$140.00	1	1
1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided. 2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.							
3043	FIBREGLASS SHWR TRAYS 900 X 900 OR SHOWER BATH W/- FLOOR WASTE - INC. SUPPLY & INSTALL HOB	1	Off	\$140.00	\$140.00	1	1
30455	WATERPROOFING - URETHANE SEALING WET AREA FLOORS AND BALCONIES	12.2	m2	\$60.00	\$732.00	1	1
30514	FIBREGLASS SHWR. TRAYS 1200 X 1200 W/- FLOOR WASTE - INC. SUPPLY & INSTALL HOB	1	Off	\$210.00	\$210.00	1	1
Total 42 WATERPROOFING					\$1,222.00		

43 BATHS & SPA BATHS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
27371	DELIVERY	1	Off	\$30.00	\$30.00	1	1
Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.							
568601	Bath - pressed steel, Dura, Shark or Apollo - 1525mm, white	1	Off	\$209.00	\$209.00	1	1
Total 43 BATHS & SPA BATHS					\$239.00		

44 PLUMBER'S ROUGH IN

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3127	Plumber - Dishwasher Provisions	1	Off	\$49.50	\$49.50	1	1
31271	Install Dishwasher - Ensure vermin proofing is in place ready for final inspection	1	Off	\$88.00	\$88.00	1	1
313406	Per downpipe price - Temporary downpipes to control run-off from unconnected downpipes	3	Off	\$11.00	\$33.00	1	1
31342	Plumber - Highset downpipes - PVC DOWNPIPES {cb DP S PAINTED PVC OR CB}	3	Off	\$85.80	\$257.40	1	1
plmb-10170	Hi-Set rough in double bathroom house kitchen, laundry & separte toilet to 300m2 Note: Tapware is {mixers or std taps} Note: Vanities are by {vanity by cab or pre-made} Note: Vanity height {vanity bench top heights}	1	Off	\$2,582.14	\$2,582.14	1	1



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Job example2

Example 2 Storey Design

44 PLUMBER'S ROUGH IN

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
Note: Whilst temperature safety valves are to be fitted to bathrooms & ensuites etc. Normal temperature hot water is to be provided to the kitchen tap.							
plmb-11400	slab on ground powder room rough in, 1 toilet & 1 vanity	1	Off	\$79.86	\$79.86	1	1
Total 44 PLUMBER'S ROUGH IN					\$3,089.90		

45 ELECTRICIAN

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3166	Install light point & batten holder	39	Off	\$39.60	\$1,544.40	1	1
3167	Single power point	3	Off	\$39.60	\$118.80	1	1
31671	Single power point for remote controlled garage door	1	Off	\$42.00	\$42.00	1	1
3168	Double power point	19	Off	\$48.40	\$919.60	1	1
	Power point colour - {POWER POINT COL}						
3169	Two way light switch	4	Off	\$35.20	\$140.80	1	1
3170	TV point (with minimum 3.0 mtrs of cable to suit digital TV)	4	Off	\$40.70	\$162.80	1	1
Note: If the electrician adds extra TV points without obtaining approval from the builder they will be back charged for extra TV Aerial splitter costs							
3172	Wire & install oven & hotplates	1	Off	\$159.50	\$159.50	1	1
31722	Electrical Connection switch to Gas Oven \ hotplate	1	Off	\$42.90	\$42.90	1	1
3173	Microwave point & switch	1	Off	\$42.90	\$42.90	1	1
31795	External weatherproof power for Gas Hot Water System	1	Off	\$49.50	\$49.50	1	1
3180	Dishwasher Point (10amp)	1	Off	\$42.90	\$42.90	1	1
31812	Installation of Canopy / Industrial Rangehood & power supply point	1	Off	\$150.00	\$150.00	1	1
3182	Supply & Install 250mm diameter exhaust fan	1	Off	\$83.60	\$83.60	1	1
3191	Electrician - Earthing & Self Testing	1	Off	\$0.00	\$0.00	1	1
3193	Light fitting installation allowance	39	Off	\$12.10	\$471.90	1	1
NOTE: Ensure that you have a copy of the light fitting selection \ order If the electrical plan does not match the order & colour selection Then please advise urgently							
31948	Provide power supply & isolation switches for air conditioning units that are over 2 hp (20 amp isolator)	1	Off	\$231.00	\$231.00	1	1
3197	Install IXL Tastic 4 in 1 exhaust fan	2	Off	\$82.50	\$165.00	1	1
3198	Telephone pre-wire per phone point (in addition to initial first free pre-wire)	2	Off	\$52.80	\$105.60	1	1
31982	Cover plate for telstra phone point (telstra to complete wiring when owner occupies residence)	1	Off	\$6.05	\$6.05	1	1
3209	Supply & Install Smoke Alarm, hard wired to current standards.	3	Off	\$94.60	\$283.80	1	1
Total 45 ELECTRICIAN					\$4,763.05		

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Job example2

Example 2 Storey Design

45.1 GAS CONNECTION

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
quote	As Quoted	875	Off	\$1.00	\$875.00	1	1
	gas connection cooktop & hws extra for BBQ point						
Total 45.1 GAS CONNECTION					\$675.00		

46 ALUMINIUM WINDOWS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3225	S0606PV OBS (handings are as per plan)	2	Off	\$111.08	\$222.16	1	1
32283	S0612 OBSCURE PERM VENT - Toughened - (handings are as per plan)	1	Off	\$141.93	\$141.93	1	1
3229	S0615 (handings are as per plan)	2	Off	\$145.00	\$290.00	1	1
3230	S0618 (handings are as per plan)	4	Off	\$158.89	\$635.55	1	1
32363	0909 fixed glass	2	Off	\$134.20	\$268.41	1	1
3240	S0918	2	Off	\$178.94	\$357.88	1	1
3278	S1812 PATIO UNIT XO/OO (handings are as per plan)	2	Off	\$276.10	\$552.21	1	1
3280	S1818 PATIO UNIT XO/OO (handings are as per plan)	2	Off	\$336.02	\$672.04	1	1
3281	S1821 PATIO UNIT XO/OO (handings are as per plan)	1	Off	\$387.41	\$387.41	1	1
3400	SD2115 XO (handings are as per plan)	1	Off	\$421.11	\$421.11	1	1
3401	SD2118 XO (handings are as per plan)	1	Off	\$450.42	\$450.42	1	1
3402	SD2121 XO (handings are as per plan)	1	Off	\$485.89	\$485.89	1	1
3405-st	SD2131 stacker door - (3132mm door width plus reveals - 2 sliding 1 fixed)	1	Off	\$1,847.67	\$1,847.67	1	1
3414	Special windows {windows special}	1.08	m2	\$396.00	\$427.68	1	1
	Length Width Quantity						
	2.4 X 0.3 1 OFF stairwell						
	0.3 X 1.2 1 OFF Ensuite - toughened						
6750	Sliding window locks	18	Off	\$3.10	\$55.84	1	1
6752	Sliding door locks	4	Off	\$38.50	\$154.00	1	1
67523	Aluminium window supply	1	Off	\$1.05	\$1.05	1	1
	Window frame colour - {WINDOW COL}						
	Window reveals - {WINDOW REVEALS}						
	General glass - { GLASS CLEAR TINT OBSCURE }						
	Wet area glass - { WET AREA GLASS }						
	Wind Speed - {wind speed}						
Please check builders order list against plans provided (plans must be current signed construction plans) The onus is on the window supply company to supply windows as shown on the plans provided and to check that pricing is correct before accepting our order. If in doubt contact the office for confirmation.							
dellv-win	DELIVERY	4.5 % of order		\$14,742.47	\$663.41	0	1
	Contract Type - {contract type}						
Total 46 ALUMINIUM WINDOWS					\$8,034.65		

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Job example2

Example 2 Storey Design

47 EXTERNAL DOOR LOCKS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3665	GAINSBOROUGH GOVERNOR ENTRANCE SET 800 SERIES {external door locks}	1	Off	\$39.30	\$39.30	1	1
4292	Gainsborough Horizon Pull Handle 9648PH520 CP SC Combination Set with a 520 mm pull handle Colour - {external door locks}	1	Off	\$300.00	\$300.00	1	1
Total 47 EXTERNAL DOOR LOCKS					\$339.30		

48 EXTERNAL DOORS & JAMBS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3519-cabo	Delivery to outer areas, ie Caboolture, Ipswich, beaudesert, Logan Village etc Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.	1	Off	\$60.00	\$60.00	1	1
35261-920d	Extra cost for special size door (920mm entry door)	1	Off	\$96.00	\$96.00	1	1
3527	Pre-Hung Single Entry frame with RP86 & 3 No. hinges 140mm 2115x867x31mm The front door frame is to be {FRONT DOOR FRAME PAINT OR STAIN} grade Hinges to match external door knob colour - {external door locks}	1	Off	\$130.00	\$130.00	1	1
3527-flash	Supply & fit damp course to entry doors	1	Off	\$17.50	\$17.50	1	1
3527-rp4-9	Upgrade the RP86 door seal to an RP4 to suit a 920 wide door	1	each	\$25.00	\$25.00	1	1
4334	Entrance Door - Prime Cost {entrance door special} {entrance door hand} hand	1	Off	\$363.64	\$363.64	1	1
43455	PARTICLE BOARD 16mm 1800x900 Extra sheet to be used to store touch up paint & spare tiles at man hole position	1	Off	\$12.00	\$12.00	1	1
4485	30x12 STOPS FJ DAR	5.2	LIM	\$0.80	\$4.16	1	1
4495	DAR SET LENGTHS 140x31 CCA PINE PRE PRIMED 5.2M LENGTHS 4/5.2	20.8	LIM	\$9.00	\$187.20	1	1
note	Please Note: The entry frame is situated in a brick return of {entry door frame brick return} mm	1	Off	\$0.00	\$0.00	1	1
Total 48 EXTERNAL DOORS & JAMBS					\$895.50		

48.1 FIRST SITE CLEAN

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
6931-dump	Dump fee's	1	Off	\$300.00	\$300.00	1	1
6931-secon	Second site clean Customer Houses - Includes blading site, levelling & setting correct falls for water run off. Note: 1 - check all windows are closed before beginning work	1	Off	\$500.00	\$500.00	1	1
Total 48.1 FIRST SITE CLEAN					\$800.00		

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Job example2

Example 2 Storey Design

49 LOCK UP HARDWARE & SOFFIT SHEETS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
2533	SOFFIT BATTEN 50x38 RPB	225.6	per mtr	\$0.90	\$203.04	1	1
3420	FC FLEX 4.5mm 2400 X 750	2	Off	\$12.50	\$25.00	1	1
3551e	FC TEXTURE SHEETING 7.5mm 2.4x1.2	2	sheet	\$35.00	\$70.00	1	1
3595	DECORVENT 4.5 mm - 2400 x 600 mm	6	Off	\$18.90	\$113.40	1	1
36054	Linea weatherboards - 102887 - 4200 x 150 x 16mm - 120 cover	4	sheet	\$17.50	\$70.00	1	1
3606	MASONITE W/TEX PRIMELOK STARTER STRIP 3600mm	1	Off	\$8.23	\$8.23	1	1
3656	75MM GALVANISED WINDOW FLASHING 1800	19	Off	\$6.00	\$114.00	1	1
3677	FC SOFFIT 4.5 2400 x 600	18	Off	\$10.00	\$180.00	1	1
3678	FC SOFFIT 4.5 2400 x 750	10	Off	\$12.50	\$125.00	1	1
3679	2400 x 150 x 4.5mm perforated soffit infill strips	20	Off	\$6.16	\$123.20	1	1
3682	P.V.C JOINT MOULD 4.5 HM4 WHITE 2.4	28	Off	\$1.10	\$30.80	1	1
3684	NAIL 1Kg BOX H/FLEX 25x2.0	1	KG NAILS	\$9.70	\$9.70	1	1
3685	FIBRE CEMENT NAILS	00.5	Kg.	\$8.60	\$4.30	1	1
3720	DELIVERY	1	Off	\$30.00	\$30.00	1	1
Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.							
448510	31x19 STOPS FJ	135	per mtr	\$1.30	\$175.50	1	1
7855	70 X 35 F5 Pine framing long lengths -must supply 4.8 to 6.0 mtr lengths (Supply F5, non structural or HI not accepted) Extra Soffit Framing 1.0/80	80.1	m	\$1.55	\$124.24	1	1
Total 49 LOCK UP HARDWARE & SOFFIT SHEETS					\$1,406.41		

50 CARPENTER LOCK & SOFFITS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
02940	Carpentry - soffits, small external ceilings, gable sheeting & gable trims - per m2 of house	269.45	m2	\$6.00	\$1,616.70	1	1
3721	Carpentry - Fix External Sheeting and dress flashings	76.45	m2	\$16.00	\$1,223.20	1	1
3737	Carpentry - Sheet external walls weatherboards or chamferboards size from 100 to 200mm, hwd,pine,FC,dress Flashings	18.6	m	\$4.00	\$74.40	1	1
Total 50 CARPENTER LOCK & SOFFITS					\$2,914.30		

52 SCAFFOLDING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
3765	Provisional Sum - Scaffolding Allowance	5000	Off	\$1.00	\$5,000.00	1	1
37691	Provisional Sum - Weekly scaffold hire there after	2	Off	\$600.00	\$1,200.00	1	1
Total 52 SCAFFOLDING					\$6,200.00		

54 BRICKS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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Job example2 Example 2 Storey Design

54 BRICKS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
1172	Face Bricks	9025	/1000	\$406.00	\$3,664.15	1	1
	Brick Colour - {BRICK COL & SUPPLIER}						
118012	Brick Tax	9025	/1000	\$2.00	\$18.05	1	1
Total 54 BRICKS					\$3,682.20		

55 BRICK HARDWARE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
1225	BRICK VENEER STUBBY TIE WITH NAILS (PKT 150)	5	Off	\$9.05	\$45.25	1	1
1226	NAILS 1Kg BOX GALV CLOUTS 30x2.8	00.5	Kg.	\$10.50	\$5.25	1	1
1227	VISCOARSE 300x30M	2	roll	\$15.50	\$31.00	1	1
1250	GALINTEL FLAT 900x85x8	1	Off	\$8.80	\$8.80	1	1
1250	GALINTEL FLAT 900x85x8	1	Off	\$8.80	\$8.80	1	2
1252	GALINTEL FLAT 1100x85x8	1	Off	\$10.75	\$10.75	1	1
1257	GALINTEL ANGLE 1800x100x100	2	Off	\$32.70	\$65.40	1	1
1258	GALINTEL ANGLE 2100x100x100	1	Off	\$38.10	\$38.10	1	1
1259	GALINTEL ANGLE 2400x100x100	1	Off	\$53.55	\$53.55	1	1
1266	GALINTEL ANGLE 3300x150x100	1	Off	\$75.10	\$75.10	1	1
1269	30 M ROLL X 300 MM ALCOR STANDARD	2	roll	\$66.70	\$133.40	1	1
3956	DELIVERY	1	Off	\$30.00	\$30.00	1	1

Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.

Total 55 BRICK HARDWARE \$505.40

56 BRICKLAYER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
1325	Bricklayer - Lay bricks to lowset house	4990	/1000	\$950.00	\$4,740.50	1	1
1326	Bricklayer - Sills to doors and windows	27.6	m	\$18.00	\$496.80	1	1
13301	Free Standing Piers, Per Meter, Including Core Filling.	10	per mtr	\$45.00	\$450.00	1	1
1334	Bricklayer - Lay bricks to first floor	3830	/1000	\$1,200.00	\$4,596.00	1	1
1335	Bricklayer - Gable allowance	1	Off	\$100.00	\$100.00	1	1
	Note: bricklayer to provide correct level of heavy duty scaffolding						
1338	Brick SILLS	1.8	m	\$18.00	\$32.40	1	1
	## special sills under deck - NOTE: please install flashing to stop water ingeess into lower floor - see builder if unsure !!						
13402	Note: Bricks above windows	11.4	mtrs	\$10.00	\$114.00	1	1
	refer plans, unless advised otherwise						
1341	Provide "Off White" mortar in lieu of natural mortar	8820	/1000	\$80.00	\$705.60	1	2
1344	Brick Cleaning	8820	/1000	\$40.00	\$352.80	1	3
	Note:						

- 1.0 If using acid mix is not to exceed 1 part acid to 20 parts water
- 2.0 Backcharges shall apply where acid burn occurs
- 3.0 Brickwork is to be saturated before acid washing begins
- 4.0 Backcharges shall apply if external ceiling, soffits, windows are damaged

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Job example2

Example 2 Storey Design

56 BRICKLAYER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
------	-------------	----------	-------	------	--------	-----	----

Rubbish:

1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.
 2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.

Total 56 BRICKLAYER **\$11,588.10**

56.5 MASONRY ARTICULATION

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
------	-------------	----------	-------	------	--------	-----	----

3059 Supply & placement masonry articulation, including backing rod & mastic etc (expansion joints)

22.7 per mtr \$8.00 **\$181.60** 1 1

Mortar Colour - {mortar colour}

All Masonry walls require full height articulation at locations marked on the engineers plans.
 Articulation shall be in accordance with the Cement & Concrete Association note TN61
 please ensure that the correct materials are used & the correct brick tie procedure is followed.

Total 56.5 MASONRY ARTICULATION **\$181.60**

58 INSULATION - WALL BATTS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
------	-------------	----------	-------	------	--------	-----	----

40963 Supply & Install R1.5 Wall Batts (fiberglass) (window area deleted)

121.28 m2 \$5.40 **\$654.91** 1 1

Length Width Quantity

16.9 X 2.4 1 OFF

4.74 X 2.4 1 OFF

5.02 X 2.4 1 OFF

11.8 X 2.4 1 OFF

12.07 X 2.4 1 OFF

Total 58 INSULATION - WALL BATTS **\$654.91**

59 WALL & CEILING LININGS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
------	-------------	----------	-------	------	--------	-----	----

1300 Hi-Set Allowance

1 Off \$300.00 **\$300.00** 1 1

13070 Stair Allowance & Void Scaffold Allowance

1 Off \$600.00 **\$600.00** 1 2

41023-hi 2 Storey - Supply, Fix & finish Plasterboard Ceilings to 2.4m high (superceil)

253.22 m2 \$10.50 **\$2,658.81** 1 1

41040-hi 2 Storey - 10mm plasterboard (walls) - to 2400mm high

570.51 m2 \$9.50 **\$5,419.85** 1 1

41054 Plasterer - Supply, fix and set ceilings to external areas

30.18 m2 \$25.00 **\$754.50** 1 1

4106 Bulkheads under soffits

5.1 m \$9.00 **\$45.90** 1 1

4108 Small square sets or arches up to 1800 mm

7 Off \$80.00 **\$560.00** 1 1

41080 Large square sets or arches over 1800mm

1 Off \$120.00 **\$120.00** 1 1

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Job example2 Example 2 Storey Design

59 WALL & CEILING LININGS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
41081	Square set gyprock shelf or niche	1	Off	\$80.00	\$80.00	1	1
4109	90mm Cornice to 2400mm high	304.8	m	\$4.60	\$1,402.08	1	1
4110	Extra cost for "Area of VILLABOARD OR aquacheck", for wet area's . to ensuite to bathroom	79.68	m2	\$5.50	\$438.24	1	1
4111	External Angles & labour to plasterboard corners - 2.4	24	Off	\$10.00	\$240.00	1	1
41172	Rondo 303 furring channel - supply and fix	30.18	m2	\$15.00	\$452.70	1	1
4136	10mm AQUA CHECK - extra cost to behind laundry tub (supply and place jobs) to laundry	3.6	m2	\$3.35	\$12.06	1	1
Total 59 WALL & CEILING LININGS					\$13,084.14		

61 GARAGE DOORS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
42534	2100 h x 1500w roller door, supply & install ## special size ## Garage door colour - {ROLLER DOOR COL}	1	Off	\$429.46	\$429.46	1	1
Rubbish:							
1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.							
2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.							
4263	Panelift Sectional Garage Door with 2 remote control units up to 2160 high x 4880 wide {panel lift door colour} {panel lift heritage ranch slimline}	1	Off	\$1,665.00	\$1,665.00	1	1
Rubbish:							
1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.							
2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.							
Total 61 GARAGE DOORS					\$2,094.46		

62 FINISHING HDWRE & INT DOOR KNOBS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
4273	DS2 Door Stop	4	Off	\$0.70	\$2.80	1	1
42733	Wall mates Metal butterfly toggles	18	Off	\$0.95	\$17.10	1	1
4280	DS1 Catches	5	Off	\$0.55	\$2.75	1	1
4281	Door Stop Cushion 75 mm	14	Off	\$0.85	\$11.90	1	1
4282	18mm Chrome Plated Rod (2.0/2.5/3.0/4.0/5.0) per L/M 2/4.0 3/2.5	15.5	mtrs	\$5.00	\$77.50	1	1
4283	18mm Chrome End Pillars (pairs)	5	pair	\$3.02	\$15.10	1	1
4284	18mm Chrome Centre Pillars	12	Off	\$1.80	\$21.60	1	1

Bill of Materials

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Job example2

Example 2 Storey Design

62 FINISHING HDWRE & INT DOOR KNOBS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
4286	No More Gaps	1	Off	\$6.00	\$6.00	1	1
42930	Pair of Gainsborough sliding privacy set - GHI 393, colour to match main door furniture backplates {INT DOOR KNOB COLOUR}	1	Off	\$15.70	\$15.70	1	1
4305	Gainsborough Contractor Levers - Passage sets with latch Colour - {contractor lever colour}	5	Off	\$35.00	\$175.00	1	1
43051	Gainsborough Contractor Levers - Privacy sets with latch Colour - {contractor lever colour}	4	Off	\$50.00	\$200.00	1	1
43052	Gainsborough Contractor Levers - Dummy trims Colour - {contractor lever colour}	6	Off	\$25.00	\$150.00	1	1
	Handings - {contractor lever dumm handles order quantity left & right}						
4352	Medium Grade Sandpaper 80 Grit per lineal meter	1	Off	\$2.00	\$2.00	1	1
43532	Aquadhere 250ml	1	Off	\$7.35	\$7.35	1	1
4470	Delivery	1	Off	\$25.00	\$25.00	1	1
Total 62 FINISHING HDWRE & INT DOOR KNOBS					\$729.80		

63 FINISHING TIMBER & INTERNAL DOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
4277	ZINC PHIL HEAD SCREW 25 MM X 6 GAUGE FULL THREAD (100 P/PKT)	1	packet	\$5.00	\$5.00	1	1
4331	IMPRESSION INT. DOOR 2040 x 720 INTERNAL DOORS {INT DOOR STYLE}	1	Off	\$42.25	\$42.25	1	1
43331	IMPRESSIONS INT. DOOR 2040 x 520 HINGED ONLY Right hand 2 -off Left hand 1 -off	3	Off	\$45.55	\$136.65	1	1
433310	IMPRESSIONS INT. DOOR 2040 x 420 HINGED ONLY Right hand 1 -off Left hand 1 -off	2	Off	\$45.55	\$91.10	1	1
4343	PARTICLE BOARD 16mm 1800x600 (includes 900 long shelves)	6	Off	\$7.85	\$47.10	1	1
4344	PARTICLE BOARD 16mm 2400x600 (includes 2100 long shelves)	3	Off	\$10.45	\$31.35	1	1
4345	PARTICLE BOARD 16mm 3600x600	2	Off	\$15.70	\$31.40	1	1
4483	WINDOW ARCHITRAVES FJ 41x12 , NDOM, PINE - 5.4 M LENGTHS MOULDINGS - {MOULDINGS COL DAR STEPPED ? }	118.8	per mtr	\$0.78	\$92.66	1	1
4485	30x12 STOPS FJ DAR	5.2	L/M	\$0.80	\$4.16	1	1
44850	30x12 STOPS (31x12) DAR	15.6	L/M	\$0.83	\$12.95	1	1
4486	41x12 ARCHITRAVE FJ PINE (5.2m) MOULDINGS - {MOULDINGS COL DAR STEPPED ? }	296.4	L/M	\$0.78	\$231.19	1	1
4487	68x12 SKIRTING FJ PINE (5.4m) MOULDINGS - {MOULDINGS COL DAR STEPPED ? }	237.6	per mtr	\$1.20	\$285.12	1	1
4489	42x19 FJ PINE DAR (5.2m) 1/3.9 1/2.7 1/1.2 9/0.9 inc manhole frame 1/5.2 1/2.7 1/2.1 5/0.9	52	L/M	\$1.20	\$62.40	1	1
4490	68x19 FJ PINE DAR (5.2m)	36.4	L/M	\$1.98	\$72.07	1	1



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Job example2 Example 2 Storey Design

63 FINISHING TIMBER & INTERNAL DOOR

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
	1/5.2 1/3.9 1/2.55 1/2.4 1/2.0 1/1.2						
4491	DAR 93x19 FJ PINE JAMBS (5.2m)	62.4	L\M	\$2.40	\$149.76	1	1
4492	DAR 112x19 FJ PINE (5.2m)	5.2	L\M	\$4.12	\$21.42	1	1
4497	QUADP Q1 12x12 PINE - 5.2 M LENGHTS	15.6	L\M	\$0.68	\$10.61	1	1
4563	FLUSH DOORS/INTERNAL HINGED FACE HOLE 2040x620 REDICOTE HARDBOARD	1	Off	\$30.00	\$30.00	1	1
4565	DOORS/INTERNAL HINGED FACE HOLE 2040x820 IMPRESSIONS	4	Off	\$45.55	\$182.20	1	1
	Right hand 1 -off {impressions doors}						
	Left hand 3 -off {impressions doors}						
4567	DOORS/INTERNAL HINGED FACE HOLE 2040x720 IMPRESSIONS	4	Off	\$45.55	\$182.20	1	1
	Right hand 2 -off						
	Left hand 2 -off						
45671	DOORS/INTERNAL LIFT OFF HINGE FACE HOLE 2040x720 IMPRESSIONS	2	Off	\$45.55	\$91.10	1	1
	Right hand 2 -off						
4570	DOOR JAMB SETS 92x19 SINGLE DOORS HINGED ONLY LOOSE STOPS PFJ1	11	Off	\$20.30	\$223.30	1	1
	Hinges to match internal door knob backplate colour {INT DOOR KNOB COLOUR}						
	Note: Doors supplied with holes are to suit - {internal door furniture type}						
	If you are unable to supply doors with the appropriate hole size then please supply doors that can be drilled on site						
4572	DOOR JAMB SET 92x19 DOUBLE SET HINGED ONLY LOOSE STOPS PFJD1	1	Off	\$44.00	\$44.00	1	1
45725	90x19 Pine Jambset Double Hinged	1	Off	\$44.00	\$44.00	1	1
4584	MULLION SET 68x42 PLAIN \ hinged MUL3	1	Off	\$34.80	\$34.80	1	1
4674	DELIVERY	1	Off	\$30.00	\$30.00	1	1
note	Please Note:	2	Off	\$0.00	\$0.00	1	1
	## Lift off hinges to go on ensuite door as well as toilet						
	##### Garage internal door has external lock #####						
Total 63 FINISHING TIMBER & INTERNAL DOOR					\$2,188.80		

64 INTERNAL STAIRS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
quote	As Quoted	2010	Off	\$1.00	\$2,010.00	1	1
Total 64 INTERNAL STAIRS					\$2,010.00		

65 CABINETMAKER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
4697	Provide 600mm wide Kitchen base cupboards, white lined to builders standard specification Contract Type - {contract type}	5.2	per mtr	\$481.57	\$2,504.17	1	1
	Colours:						
	Kitchen Benchtops - {kitchen benchtops}						
	Kitchen Cupboards & Doors - {kitchen cupboards & doors}						
	Kitchen Kickboards - {kitchen kickboards}						
	Kitchen Knobs - {kitchen knobs style colour placement}						

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Job example2

Example 2 Storey Design

65 CABINETMAKER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
	Rubbish:						
	1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.						
46970	Provide 600mm wide Laundry base cupboards, white lined to builders standard specification (similar to kitchen cupboards) Laundry base cupboards, 600mm wide, white lined with laminate top Colours: Laundry Benchtops - {laundry benchtops} Laundry Cupboards & Doors - {laundry cupboards & doors} Laundry Kickboards - {laundry kickboards} Laundry Knobs - {laundry knobs style colour placement}	1.7 per mtr		\$481.57	\$818.67	1	1
4699	Provide 600mm high overhead cupboards, white lined to builders standard specification (2.1 high) Colours: Kitchen Overheads - {kitchen overheads}	2.9 per mtr		\$321.05	\$931.04	1	1
4702	Provide 300mm wide flat breakfast bar extension of kitchen benchtop	3.3 per mtr		\$120.40	\$397.32	1	1
47031	Laminated appliance cupboard, linen, broom cupboard or pantry to 2.1 high {cabinetmakers appliance cupboard location}	00.9 per mtr		\$802.62	\$722.36	1	1
4706	Laminated vanity units, up to 500 deep with kickboards Bathroom 1/2.0 Ensuite 1/1.4 Powder room 1/0.9	4.3 per mtr		\$602.00	\$2,588.60	1	1
4706-bath	Bathroom vanity drawers (per set of drawers) Bathroom Top - {bathroom top} Bathroom Doors - {bathroom doors} Bathroom Kickboard - {bathroom kickboard} Bathroom Knobs - {bathroom knobs}	1 Off		\$85.00	\$85.00	1	1
4706-ens	Ensuite vanity drawers (per set of drawers) Ensuite Top - {ensuite vanity top} Ensuite Doors - {ensuite doors} Ensuite Kickboard - {ensuite kickboard} Ensuite Knobs - {ensuite knobs}	1 Off		\$85.00	\$85.00	1	1
4706-pwd	Powder Room vanity drawers (per set of drawers) Powder Top - {powder vanity top} Powder Doors - {powder doors} Powder Kickboard - {powder kickboard} Powder Knobs - {powder knobs}	1 Off		\$85.00	\$85.00	1	1
4708	Extra allowance for banjo vanity extension over the bath tub	1 Off		\$120.40	\$120.40	1	2
471401	Kitchen Sink - Clark Radiant R175 1200mm Stainless Steel KITCHEN SINK BOWL - {KITCH SINK BOWL LH OR RH}	1 Off		\$240.00	\$240.00	1	1
5634	Drop in Vanity Basin - Including brackets, plug & waste Note: Tapware is {mixers or std taps} Note: Vanities are by {vanity by cab or pre-made}	3 Off		\$119.00	\$357.00	1	1
57681	Clarke 45 litre insert trough with bypass	1 Off		\$195.00	\$195.00	1	1
note	Please Note: # a dishwasher provision is required in this house	1 Off		\$0.00	\$0.00	1	1
Total 65 CABINETMAKER					\$9,129.56		



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Job example2 Example 2 Storey Design

67 CARPENTER FIXOUT

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
278904	Carpentry Fixout - Labour and finishing gun nails - Mouldings, PB Shelving, Socks n Jocks Nest of Shelves, Doors, etc.	269.45	m2	\$10.00	\$2,694.50	1	1
Total 67 CARPENTER FIXOUT					\$2,694.50		

70 SPECIAL WALL APPLICATIONS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
49920-smf	Smooth Render finish to brickwork / fine texture to FC (paint by others) - small jobs Note: 1.0 The V-joint at the termimesh line must be installed 2.0 Contract Type - {contract type} 3.0 If plastic corners are used they must not bridge the termimesh If there is any doubt contact termimesh on 3865 4654 or 5476 6688	8	m2	\$60.00	\$480.00	1	1
4993-smf	JOINTING, PRIME, 2mm TROWEL & IMPACT ON HARDITEX - Small Jobs Note: 1.0 The V-joint at the termimesh line must be installed 2.0 Brickwork Finish - {render & paint or granosite} 3.0 If plastic corners are used they must not bridge the termimesh If there is any doubt contact termimesh on 3865 4654 or 5476 6688	6	m2	\$80.00	\$480.00	1	1
Total 70 SPECIAL WALL APPLICATIONS					\$960.00		

71 CERAMIC TILES

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
5022	Bathroom Floor Tiles, Supply Only, PC to premier spec Length Wdth Quantity 0.2 X 0.2 20 OFF Bathroom Shower Hob {bathroom shower hob tiles} 0.2 X 0.2 146 OFF Bathroom Main Floor Tiles {bathroom floor tiles}	6.64	m2	\$18.18	\$120.72	1	1
5022-hob	Bath Hob Tiles, Supply Only, PC to premier spec Length Wdth Quantity 0.2 X 0.2 9 OFF Bathroom Bath Hob {bathroom bath hob tiles}	00.36	m2	\$18.18	\$6.54	1	1
5023	Bathroom Wall Tiles, Supply Only, PC to premier spec Length Wdth Quantity 0.2 X 0.2 45 OFF bathroom bath surround tile {bathroom bath surround tile} bathroom bath top tile {bathroom bath top tile} 0.2 X 0.2 110 OFF bathroom main shower tile {bathroom main shower tile} bathroom shower top tile{bathroom shower top tile} 0.2 X 0.2 21 OFF bathroom bath surround tile {bathroom bath surround tile} bathroom bath top tile {bathroom bath top tile} 0.2 X 0.2 27 OFF bathroom skirting tile {bathroom skirting tiles}	8.12	m2	\$18.18	\$147.62	1	1

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Job example2

Example 2 Storey Design

71 CERAMIC TILES

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
5027	Toilet Wall Tiles, Supply Only, PC to premier spec	1.08 m2		\$18.18	\$19.63	1	1
	Length Widht Quantity						
	0.2 X 0.2 27 OFF toilet skirting tile {toilet skirting tile}						
5029	Laundry Wall Tiles, Supply Only, PC to premier spec	3.28 m2		\$18.18	\$59.63	1	1
	Length Widht Quantity						
	0.2 X 0.2 40 OFF laundry tub splashback {laundry splaskback}						
	0.2 X 0.2 25 OFF laundry skirting tile {laundry skirting tiles}						
	0.2 X 0.2 17 OFF washing machine taps splashback {laundry washing machine taps splashback}						
5031	Kitchen Wall Tiles, Supply Only, PC to premier spec	1.28 m2		\$18.18	\$23.27	1	1
	Length Widht Quantity						
	0.2 X 0.2 21 OFF kitchen splashback tile {kitchen splashback tiles}						
	0.2 X 0.2 11 OFF kitchen splashback top tile {kitchen splashback top tile}						
5033	Ensuite Wall Tiles, Supply Only, PC to premier spec	6.64 m2		\$18.18	\$120.73	1	1
	Length Widht Quantity						
	0.2 X 0.2 133 OFF ensuite main shower tile {ensuite main shower tiles}						
	ensuite shower top tile {ensuite shower top tile}						
	0.2 X 0.2 33 OFF ensuite skirting tile {ensuite skirting tiles}						
50401	Frieze tiles (each)	20 Off		\$12.20	\$244.00	1	1
	bathroom 2 -off (quantities & sizes tbc)						
	ensuite 2 -off (quantities & sizes tbc)						
5041	Soap Holders	3 Off		\$22.00	\$66.00	1	1
	{soap holder colour & type}						
5072	Delivery	1 Off		\$40.00	\$40.00	1	1
5075	Toilet Floor Tiles, Supply Only, PC to premier spec	1.92 m2		\$18.18	\$34.91	1	1
	Length Widht Quantity						
	0.2 X 0.2 48 OFF Toilet Floor Tiles {toilet floor tiles}						
5077	Laundry Floor Tiles, Supply Only, PC to premier spec	5.12 m2		\$18.18	\$93.09	1	1
	Length Widht Quantity						
	0.2 X 0.2 128 OFF Main Floor Tiles {laundry floor tiles}						
5081	Ensuite Floor Tiles, Supply Only, PC to Premier Spec.	6.75 m2		\$18.18	\$122.73	1	1
	Length Widht Quantity						
	0.2 X 0.2 27 OFF Shower Hob {ensuite shower hob tiles}						
	0.3 X 0.3 63 OFF Main Floor Tiles {ensuite floor tiles}						
5083	Powder Room Floor Tiles, Supply Only, PC to Premier Spec.	2.34 m2		\$18.18	\$42.55	1	1
	Length Widht Quantity						
	0.3 X 0.3 26 OFF Main Floor Tiles {powder room floor tiles}						
5084	Powder Room Wall Tiles, Supply Only, PC to Premier Spec.	1.98 m2		\$18.18	\$36.00	1	1
	Length Widht Quantity						
	0.3 X 0.3 22 OFF powder room skirting tile {powder room skirting tiles}						
note	Please Note:	1 Off		\$0.00	\$0.00	1	1
	House Design - {house design}						



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Job example2

Example 2 Storey Design

71 CERAMIC TILES

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
	Colour Selection No. - {col sel no}						
	Contract Type - {contract type}						
	If floor tiles have been specified to be placed on the wall do NOT deliver them to site, please contact the builder for further written advice, generally we will refuse to install floor tiles on the wall.						
Total 71 CERAMIC TILES					\$1,177.42		

71.1 CERAMIC TILES (NON WET AREAS)

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
5085	Main area's floor tiles (premier specification) {tiles main floor}	86.18	m2	\$18.18	\$1,566.91	1	1
Total 71.1 CERAMIC TILES (NON WET AREAS)					\$1,566.91		

72 CERAMIC TILER

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
5042	Tile Angle at wet area doors	5	Off	\$10.00	\$50.00	1	1
50421	Dry floor waste to wet area floors	3	Off	\$5.00	\$15.00	1	1
5043	Tiler's angle where carpet abbutts 1/0.82	00.9	m	\$5.00	\$4.50	1	2
50850	Square lay tiles to main floor areas (including flexible adhesives & grouts) Main Floor Tiles - {tiles main floor}	78.34	m2	\$35.00	\$2,741.90	1	2
50901	Install Frieze tiles bathroom ensuite	4.2	m	\$15.00	\$63.00	1	1
5091	Fix wall tiles including supply of grout & glue laundry splashback & skirting to 200 high ensuite shower walls to 2000 high powder room splashback & skirting to 200 high ensuite splashback & skirting to 200 high kitchen splashback to 600 high laundry tub surround to 600 high toilet skirting to 200 high washing machine taps splashback 600 high wall grout - {tiles wall GROUT COL} bathroom shower walls to 2000 high bathroom splashback & skirting to 200 high bathroom bath surround to 1200 high bathroom bath surround to 1200 high	19.84	m2	\$35.00	\$694.40	1	1
5092	Fix floor tiles including supply of grout & glue & preparation bathroom hob floor grout {tiles floor GROUT COL} bathroom floor bathroom floor ensuite floor laundry floor ensuite shower hob toilet floor powder room floor	23.86	m2	\$35.00	\$835.10	1	1

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Job example2

Example 2 Storey Design

72 CERAMIC TILER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
50920-shw	Grout floors to shower's (each shower)	2	Off	\$10.00	\$20.00	1	1
50931	Tilers Labour allowance to apply silicone - Vanity units, kitchen bench, bath, mirrors etc. Silicon	1	Off	\$100.00	\$100.00	1	1
	1.0 A 3mm gap is to be provided against all skirtings & any other place that tiles are finished up against						
	2.0 An expansion joint is to be placed at maximum 9.0 mtr centers						
	3.0 Flexible silicon sealant is to be used, match grout colour						
	Fixtures						
	1.0 Laundry tub bowl colour - {LAUNDRY TUB}						
	Rubbish:						
	1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.						
	2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.						
50932	Tiler to supply silicone	2	Off	\$12.00	\$24.00	1	1
note	Please Note:	109	Off	\$0.00	\$0.00	1	2
	Carpet to following rooms - {carpet rooms}						
Total 72 CERAMIC TILER					\$4,547.90		

72s MAIN TILING JOINT SEALING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
508501	Provision of expansion joints to main floor tiles	100	m2	\$3.00	\$300.00	1	1
	1.0 A 3mm gap is to be provided against all skirtings & any other place that tiles are finished up against						
	2.0 An expansion joint is to be placed at maximum 9.0 mtr centers						
	3.0 Flexible silicon sealant is to be used, match grout colour						
Total 72s MAIN TILING JOINT SEALING					\$300.00		

73 SHOWER SCREENS-MIRRORS & S/DOORS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
5106	SHOWER SCREEN MODEL 503 1865 x 900 x 900, site measure Bathroom - {BATH SHOWER COL} Ensuite - {ENS SHOWER COL} Powder - {POWDER SHOWER COL}	1	Off	\$257.00	\$257.00	1	1
51070	SHOWER SCREEN MODEL 504 1865 x 1200 x 1200x500x700x700 angled front, site measure Bathroom - {BATH SHOWER COL} Ensuite - {ENS SHOWER COL} Powder - {POWDER SHOWER COL}	1	Off	\$295.45	\$295.45	1	1
51192	FRAMED MIRRORS, confirm length on site, 900 x 900 POWDER ROOM MIRROR FRAME COLOUR {POWDER MIRROR COL}	1	Off	\$49.10	\$49.10	1	1



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Job example2 Example 2 Storey Design

73 SHOWER SCREENS-MIRRORS & S/DOORS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
511935	FRAMED MIRRORS, confirm length on site, 900 x 1400 ENSUITE MIRROR FRAME COLOUR { ENS MIRROR COL}	1	Off	\$65.00	\$65.00	1	1
511955	FRAMED MIRRORS, confirm length on site, 900 x 2000 BATHROOM MIRROR FRAME COLOUR { BATH MIRROR COL}	1	Off	\$81.00	\$81.00	1	1
5162	Vinyl sliding doors 2100 x 1800 Frame Colour - {VINYL FRAME COL} Vinyl Colour - {AEGEAN COL}	4	Off	\$167.27	\$669.08	1	1
5163	Vinyl sliding doors 2100 x 2100 Frame Colour - {VINYL FRAME COL} Vinyl Colour - {AEGEAN COL}	1	Off	\$179.10	\$179.10	1	1
5164	Vinyl sliding doors 2100 x 2400 Frame Colour - {VINYL FRAME COL} Vinyl Colour - {AEGEAN COL}	1	Off	\$183.64	\$183.64	1	1
Total 73 SHOWER SCREENS-MIRRORS & S/DOORS					\$1,779.37		

78 SANITARY WARE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
567-10010	Irwell Tasman Tapware - Basin Set including spout - gold ENSUITE TAP COLOUR COLOUR {ENS TAP COL} BATH TAP COLOUR {BATH TAP COLOUR} POWDER ROOM TAP COLOUR {POWDER TAP COLOUR} SECOND BATH TAP COLOUR {SEC BATH TAP COLOUR}	1	Off	\$57.00	\$57.00	1	1
567-10015	Elderings Tradesman 500 - Basin Set including spout - chrome	2	Off	\$35.00	\$70.00	1	1
567-10035	Elderings Tradesman 500 - Shower Set including AAA rated rose - chrome	2	Off	\$27.00	\$54.00	1	1
567-10055	Elderings Tradesman 500 - Bath Set including spout - chrome	1	Off	\$22.00	\$22.00	1	1
567-10075	Elderings Tradesman 500 - Laundry Tub Set - chrome	1	Off	\$27.00	\$27.00	1	1
567-10092	Elderings Tradesman 500 - Washing Machine Set including spout - chrome	1	Off	\$22.00	\$22.00	1	1
576204	Kitchen tap - Elderings Tradesman 500 mixer, chrome	1	Off	\$55.00	\$55.00	1	1
576405	Elderings Tradesman 500 - Toilet Roll Holder - Chrome	3	Off	\$30.00	\$90.00	1	1
576505	Elderings Tradesman 500 Double Towel Rail - Chrome	3	Off	\$65.00	\$195.00	1	1
576592	Caroma Slimline Toilet Suite - White	3	Off	\$158.00	\$474.00	1	1
Total 78 SANITARY WARE					\$1,066.00		

78.5 PLUMBERS FIT OFF

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
plmb-10270	Hi-Set fix off double bathroom house kitchen, laundry & seperate toilet to 300m2	1	Off	\$3,008.06	\$3,008.06	1	1
plmb-11500	slab on ground powder room fix off, 1 toilet & 1 vanity	1	Off	\$93.17	\$93.17	1	1

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Job example2

Example 2 Storey Design

78.5 PLUMBERS FIT OFF

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
Total 78.5 PLUMBERS FIT OFF					\$3,101.23		

80 PAINTER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
5973-3coat	Supply materials & labour for 3 coat system internal painting, including eaves, downpipes, meter box, trims	269.45	m2	\$22.00	\$5,927.90	1	1
5980	Paint External Cladding (Hardiplank, weatherboards, chamferboards or fiber cement sheeting) (a) External Cladding - 2 coats solverline 4290 duraguard low sheen acrylic - recoat time 2 hours, substrate fibrous cement sheeting	51.66	m2	\$12.00	\$619.92	1	1
	Length Width Quantity						
	0.8 X 6.0	0.5	OFF				
	1.8 X 2.1	1	OFF				
	2.1 X 3.0	1	OFF				
	2.4 X 6.0	1	OFF				
	4.8 X 2.4	1	OFF				
	5.1 X 2.6	1	OFF				
5981	Paint External Ceilings (paint used must be an external use sealer to prevent future problems with plaster ceilings) (e) External ceilings - 1 coat solverline 129 oil based wall sealer - 2 coats solverline 4165 solvermaster low sheen acrylic - recoat time 2 hours, substrate plasterboard sheeting	30.18	m2	\$12.00	\$362.16	1	1
5982	Paint Fascia, Barge & Gutter	5.1	m	\$12.00	\$61.20	1	1
59861	Paint rendered external masonry or textured FC sheeting (a) Paint Colour to rendered walls - {paint render} (b) Exterior Walls - 2 coats solverline 4290 premium duraguard low sheen acrylic - recoat time 2 hours, substrate cement render	14	m2	\$14.00	\$196.00	1	7
599013	Paint or Stain internal handrails	1.5	m	\$30.00	\$45.00	1	1
5990131	Paint or Stain internal handrails - Wall Mounted	10.2	m	\$5.00	\$51.00	1	1
5991	Paint Decking or Stain with sickens - Note: Go to site early and pre treat decking to prevent staining of hardwood	5.8	m2	\$28.00	\$162.40	1	1
59910	Paint or Stain with sickens - underside of decking, deck joists and posts (where visible)	5.8	m2	\$15.00	\$87.00	1	1
59917	Pick out Niche, cut out or Picture recess in different colour	1	Off	\$50.00	\$50.00	1	7
5973-3touc	Touch-Up & patching works to make paint work ready for handover (including touchups)	269.45	m2	\$2.00	\$538.90	1	1
Total 80 PAINTER					\$8,101.48		

81 WHITE GOODS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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Job example2 Example 2 Storey Design

81 WHITE GOODS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
59939	Oven - Westinghouse PON 663s (POL 662s)	1	Off	\$505.00	\$505.00	1	1
599397-605	Westinghouse WRH 605 is Ranghood (stainless steel)	1	Off	\$127.00	\$127.00	1	1
599485	Cooktop - Westinghouse PHL 394u (ceramic hotplate with no trim available)	1	Off	\$539.00	\$539.00	1	1
5996	Dishwasher - Prime Cost	1	Off	\$800.00	\$800.00	1	1
62492	Delivery - Sunshine Coast	1	Off	\$4.55	\$4.55	1	1
Total 81 WHITE GOODS					\$1,975.55		

82 LIGHT FITTINGS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6253	Lounge, Dining or Rumpus light fittings (cro 20012)	1	Off	\$30.00	\$30.00	1	1
62530	Lounge, Dining or Rumpus light fittings (Brilliant ctc 10974-13)	1	Off	\$75.00	\$75.00	1	1
625300-100	Lounge, Dining or Rumpus light fitting - Downlights (NAP NL 950)	20	Off	\$31.25	\$625.00	1	1
62531	Light fittings (ies gl32) - Typical kitchen light, may also be used for big patio's	1	Off	\$45.00	\$45.00	1	1
62532	Bedroom Light Fittings (cro 19744)	3	Off	\$20.00	\$60.00	1	1
62545	IXL Tastic sensation 4 heat 1 light plus exhaust	2	Off	\$198.75	\$397.50	1	1
625530	Entry light fittings (nap nl22)	1	Off	\$17.00	\$17.00	1	1
62554	Hallway light fittings (nap nl22)	3	Off	\$17.00	\$51.00	1	1
62555	Toilet light fittings (kl 6006)	2	Off	\$8.13	\$16.25	1	1
62558	Laundry light fitting (kl 6006)	2	Off	\$8.13	\$16.25	1	1
6259	Soffit mounted exterior light fittings (ies l5001)	2	Off	\$15.63	\$31.25	1	1
62594	Light Globes 40w Round Pearl	1	Off	\$1.13	\$1.13	1	1
62595	Edison Screw "Lightstar" fluorescent Energy Saving Lamps - CFL -11, 15, 20 watts to suit fittings placement	7	Off	\$6.88	\$48.13	1	1
625955	Light fittings trim to match internal door furniture where possible - {INT DOOR KNOB COLOUR}						
	11 Watt Aladdin bulb for use in cro 24906 external wall lights	2	Off	\$6.25	\$12.50	1	1
62597	Light fittings trim to match internal door furniture where possible - {INT DOOR KNOB COLOUR}						
	RO 80 reflector downlight lamp	20	Off	\$2.50	\$50.00	1	1
6259-exz4	Light fittings trim to match internal door furniture where possible - {INT DOOR KNOB COLOUR}						
	External wall light - Stainless Steel grilled wall light with opal diffuser CRO 24906 (ret IDL 3498)	2	Off	\$32.96	\$65.93	1	1
6259-flid	single 36 watt fluorescent light with diffuser	1	Off	\$33.75	\$33.75	1	1
Total 82 LIGHT FITTINGS					\$1,575.68		

83 CURTAINS/VENITIAN BLINDS/SHUTTER

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6262	Group 1 "Vertical Blinds" (windows are measured & supplied between the reveals u.n.o s/doors are plus 50mm each side) Contract Type - {contract type} Colour - {vertical blinds group 1} Verticals to - {verticals to}	33.4	per mtr	\$49.00	\$1,636.60	1	1

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Job example2

Example 2 Storey Design

83 CURTAINS/VENITIAN BLINDS/SHUTTER

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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Rubbish:

1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.
 2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.

1/3.2 1/2.2 1/2.11 1/1.9 7/1.81 1/1.6
 2/1.51 3/1.21 2/0.91 2/0.61

Total 83 CURTAINS/VENITIAN BLINDS/SHUTTER \$1,636.60

84 TV ANTENNA

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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3207-sunco Sunshine Coast PL10 Phased Array TV Antenna
 UHF \ VHF & Mast connected to up to 4 outlets
 NOTE: Confirm TV points, splitter & amplifier requirements & advise of extra costs so that we can have the client authorise a variation before we continue with installation

Rubbish:

1.0 The house is to be swept out daily, all rubbish is to be placed in the designated area or cage provided.
 2.0 Rubbish areas & cages are intended for construction rubbish, subcontractors are to remove food scraps & other personal rubbish from the construction site.

Total 84 TV ANTENNA \$250.00

85 FLOOR SANDING & POLISHING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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63175 Sand particleboard flooring to level out raised edges etc.

109.54 m2 \$6.00 \$657.24 1 1

Total 85 FLOOR SANDING & POLISHING \$657.24

86 BALUSTRADING / METAL FENCING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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6339 Glazed 1000mm high Balustrade / Handrail -
 Provisional Sum
 {BALUSTRADE EXTERNAL}
 1/2.19 1/2.0 2/0.6

5.4 per lin mtr \$500.00 \$2,700.00 1 1

Total 86 BALUSTRADING / METAL FENCING \$2,700.00

88 CONCRETOR EXTERNAL

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
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Job example2

Example 2 Storey Design

88 CONCRETOR EXTERNAL

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
102521	Prepare & Place External Exposed Aggregate Slab, Including Broom Off & Acid wash Driveway - {driveway exp agg}	115	m2	\$30.00	\$3,450.00	1	1
10255	Concretors labour allowance to "barrow" concrete	2	Off	\$100.00	\$200.00	1	3
1035	Concretor - Place post bracket to piers (clean out pad footing)	3	Off	\$25.00	\$75.00	1	1
31277	Provide 50mm conduit under driveway & under paths at tap positions to allow for future watering systems etc.	8	per lin mtr	\$5.50	\$44.00	1	1
31278	Provide 50mm conduit elbows under taps	2	Off	\$5.50	\$11.00	1	1
Total 88 CONCRETOR EXTERNAL					\$3,780.00		

88.1 EXTERNAL CONCRETE HARDWARE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0802	F72 MESH	10	Off	\$117.00	\$1,170.00	1	1
0814	BAR CHAIRS SOG5065 (PK OF 100) (for conventional slabs)	200	per 100	\$35.10	\$70.20	1	1
1003	Flex Roll 10x100x25mm (required at gutter when kerb not removed)	2	Off	\$36.00	\$72.00	1	1
1910	DELIVERY	1	Off	\$100.00	\$100.00	1	2
Note: Materials not to be placed on road, footpath or within 2.0 mtrs of the house.							
Total 88.1 EXTERNAL CONCRETE HARDWARE					\$1,412.20		

88.2 EXTERNAL CONCRETE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0979	Concrete - exposed aggregate - Driveway {exp agg N/side CSR lawnton or marie river S/side Pioneer blue heeler or autumn gold}	12.2	m3	\$254.00	\$3,098.80	1	1
Total 88.2 EXTERNAL CONCRETE					\$3,098.80		

88.3 EXTERNAL CONCRETE SAND

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
1668-del	Delivery for sand & gravel	25	Tonne	\$10.00	\$250.00	1	1
1668-ton	Under slab fill (ex bin)	25	Tonne	\$12.50	\$312.50	1	1
Note:							
1.0 materials must not be placed on the road, footpath or within 2.0 mtrs of the house area (2.6 mtrs from wall, 2.0 mtrs from eaves)							
2.0 Overages shall not be paid, please only supply the quantities requested.							
Total 88.3 EXTERNAL CONCRETE SAND					\$562.50		

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Job example2

Example 2 Storey Design

88.4 EXTERNAL CONCRETE MACHINE HIRE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
0691-me	Bobcat hire for up to 100 m2 - Prepare Driveway, Patio or Paths for concrete including spreading sand as required	115	m2	\$4.00	\$460.00	1	1
Total 88.4 EXTERNAL CONCRETE MACHINE HIRE					\$460.00		

89.1 CARPENTER FINAL FIX

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
278907	Carpentry - Final fix Note: 1. All doors are to be checked for level. 2. Privacy adaptors to {privacy adaptor to}	269.45	m2	\$1.50	\$404.18	1	1
Total 89.1 CARPENTER FINAL FIX					\$404.18		

90-1000 HOT WATER SYSTEM

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
57448	Bosch 21 Electronic Instantaneous Gas Hot Water Service	1	Off	\$644.00	\$644.00	1	1
Item	Provide: upgrade to bosch 25 gas hws	1	Off	\$1.00	\$1.00	1	1
Total 90-1000 HOT WATER SYSTEM					\$645.00		

93 FLY SCREENS OR SECURITY SCREENS

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
67001	0606 SECURITY SCREEN	2	Off	\$15.99	\$31.98	1	1
67021	0612 SECURITY SCREEN	1	Off	\$31.97	\$31.97	1	1
67031	0615 SECURITY SCREEN	2	Off	\$39.95	\$79.90	1	1
67041	0618 SECURITY SCREEN	4	Off	\$47.94	\$191.76	1	1
67151	0909 SECURITY SCREEN	2	Off	\$35.95	\$71.90	1	1
67181	0918 SECURITY SCREEN	2	Off	\$71.90	\$143.80	1	1
67831	1812 SECURITY SCREEN XO/OO	2	Off	\$63.92	\$127.84	1	1
67851	1818 SECURITY SCREEN XO/OO	2	Off	\$95.87	\$191.74	1	1
	screen size for this window is usually 1200 high x 900 wide						
67861	1821 SECURITY SCREEN XO/OO	1	Off	\$111.84	\$111.84	1	1
68071	SD 2115 SECURITY SCREEN XO (handings are as per plan)	1	Off	\$267.50	\$267.50	1	1
68081	SD 2118 SECURITY SCREEN XO (handings are as per plan)	1	Off	\$291.83	\$291.83	1	1
68091	SD 2121 SECURITY SCREEN XO	1	Off	\$322.23	\$322.23	1	1
68125	SD 2130 SECURITY SCREEN for Stacker doors	1	Off	\$644.44	\$644.44	1	2
68181	Provide Hinged Security Doors (single door)	1	Off	\$260.00	\$260.00	1	1
	Security door to match aluminium window frame powder coat colour - {WINDOW COL}						
	Security mesh colour - {win security mesh col}						
	Contract Type - {contract type}						



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Job example2 Example 2 Storey Design

93 FLY SCREENS OR SECURITY SCREENS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
NOTE: Extra costs must be advised within 5 working days, otherwise pricing shall be deemed to stand as is.							
	Security door to match aluminium window frame powder coat colour - {WINDOW COL}						
	Security mesh colour - {win security mesh col}						
	Security door to match aluminium window frame powder coat colour - {WINDOW COL}						
	Security mesh colour - {win security mesh col}						
	Contract Type - {contract type}						
68199-SD	Extra allowance per unit for tracks to stacker doors.	1	Off	\$133.75	\$133.75	1	2
Total 93 FLY SCREENS OR SECURITY SCREENS					\$2,902.48		

94-1000 INSULATION

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
40961	Supply & Install R2.5 Ceiling Batts (fiberglass)	299.61	m2	\$5.00	\$1,498.05	1	1
	Note:						
	1.0 Truss Centers = {truss crs} MM						
	2.0 Please ensure that wiring from exhaust fans is not pushed onto the fan when batts installed. The fans make & loud noise & the wiring is rubbed by the blade.						
	3.0 Please ensure that downlights are not bumped & they can be easily dislodged & knocked to an odd angle.						
Total 94-1000 INSULATION					\$1,498.05		

94 HOUSE CLEAN

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6912	Internal house clean	269.45	m2	\$2.20	\$592.79	1	1
6913	Re-Clean house after carpet layers etc	269.45	m2	\$0.80	\$215.56	1	2
Total 94 HOUSE CLEAN					\$808.35		

95 FINAL SITE CLEAN

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
69310	Extra site clean for 2 storey houses or large lowset houses (supervisor to call up if required)	1	Off	\$800.00	\$800.00	1	1
69310	Extra site clean for 2 storey houses or large lowset houses (supervisor to call up if required)	1	Off	\$800.00	\$800.00	1	1
6931-dump	Dump fee's	1	Off	\$300.00	\$300.00	1	1
6931-north	Extra travelling / dump fee's for northside jobs	1	Off	\$50.00	\$50.00	1	1
6931-Sspec	Second site clean Spec Houses - Includes blading site, levelling & setting correct falls for water run off.	1	Off	\$500.00	\$500.00	1	1
	Note:						
1 - check all windows are closed before beginning work							

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Job

example2

Example 2 Storey Design

Total 95 FINAL SITE CLEAN

\$2,450.00**96 LANDSCAPING**

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
0691-strip	Bobcat hire to strip grass from building sites (for turf or slab etc) includes all travel & tip fees etc Note: 1 - check all windows are closed before beginning work 2 - Any work that is to be invoiced above the order amount shown must receive authorisation & an official {the builder} order number 3 - Owners Contact Number: {owners ph} 4 - DPI fire ant inspection report number {fire ant inspection report number} Fire ant zone obligations 1. No soil is to leave restricted area's 2. A site inspection is required prior to disturbing soil 3. Movement certification forms are required to move materials from site 4. A risk management plan must be implemented 5. machinery must be cleaned before leaving site	160	m2	\$1.00	\$160.00	1	1
0691-turf	Bobcat hire to spread soil for turf (includes travel etc) Note: 1 - check all windows are closed before beginning work 2 - Any work that is to be invoiced above the order amount shown must receive authorisation & an official {the builder} order number 3 - Owners Contact Number: {owners ph} 4 - DPI fire ant inspection report number {fire ant inspection report number} Fire ant zone obligations 1. No soil is to leave restricted area's 2. A site inspection is required prior to disturbing soil 3. Movement certification forms are required to move materials from site 4. A risk management plan must be implemented 5. machinery must be cleaned before leaving site	160	m2	\$1.00	\$160.00	1	1
1668-soilM	Soil for under "Turf" (per m3) including delivery fee Note: 1.0 materials must not be placed on the road, footpath or within 2.0 mtrs of the house area (2.6 mtrs from wall, 2.0 mtrs from eaves) 2.0 Overages shall not be paid, please only supply the quantities requested. 3.0 If you send us an invoice for quantities greater than those ordered it shall be sent back to you for correction. 4.0 Our quantities include extra materials to cover small shortages if you reduce the quantity marginally to keep under budget 5.0 Any work that is to be invoiced above the order amount shown must receive authorisation & an official {the builder} order number 6.0 Owners Contact Number: {owners ph} 7.0 DPI fire ant inspection report number {fire ant inspection report number} 8.0 Fire ant zone obligations a. No soil is to leave restricted area's b. A site inspection is required prior to disturbing soil c. Movement certification forms are required to move materials from site d. A risk management plan must be implemented f. machinery must be cleaned before leaving site	8	m3	\$31.00	\$248.00	1	1
6952	Supply & Install "Builders" Grade Turf - wintergreen / green couch Notes: 1.0 Turf to {turfed areas} 2.0 Contract Type - {contract type} 3.0 Slab Design Type - {slab type} 4.0 Turf is to be rolled upon completion 5.0 Turf is to be thoroughly watered immediately after laying 6.0 Minimum 75mm exposed slab edge to be maintained - {turf exp slab}	160	m2	\$4.00	\$640.00	1	1



Bill of Materials

1 April 2009

Job example2

Example 2 Storey Design

96 LANDSCAPING

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
69523	7.0 Yard gully pipe to be trimmed to suit final turf level, grid for gully should be in house cupboard Mow Grass / Turf	160	m2	\$0.20	\$32.00	1	1
Total 96 LANDSCAPING					\$1,240.00		

96.7 LANDSCAPING - PLANTS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
69552	SUPPLY & PLACE 50 L POT ASSORTED TREES	2	Off	\$200.00	\$400.00	1	1
6956-20	Garden Beds 20 m2 - edging, mulch, soil, labour, 30 plants (16 x 140mm, 12 x 200mm, 1 x 25 ltr)	2	Off	\$1,050.00	\$2,100.00	1	1
	m2 Provide:	23.84	m2	\$0.00	\$0.00	1	1
	Length Width Quantity						
	1.5 X 1.0 1 OFF						
	2.2 X 1.8 1 OFF						
	2.4 X 1.0 1 OFF						
	2.6 X 2.5 1 OFF						
	3.0 X 1.0 1 OFF						
	10.8 X 0.6 1 OFF						
Total 96.7 LANDSCAPING - PLANTS					\$2,500.00		

96.9 LANDSCAPING - GARDEN EDGING

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6959	Concrete Edging - Supply & Place	20.1	m	\$10.00	\$201.00	1	1
Total 96.9 LANDSCAPING - GARDEN EDGING					\$201.00		

98 FLOOR COVERINGS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
707413	Supply & lay "Godfrey Hirst Hanwood Range" Carpet on rubber underlay, including door trims Carpet to - {carpet rooms} Colour - {carpet millenium} Contract Type - {contract type}	108.52	m2	\$26.50	\$2,875.78	1	1
Total 98 FLOOR COVERINGS					\$2,875.78		

103 FENCING

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
7281	Supply & Install 1800 mm Timber paling fence (refer site plan, do not exceed order as extra's not paid) Note:	49.5	mtrs	\$50.00	\$2,475.00	1	1

Bill of Quantities

1 April 2009

Job example2

Example 2 Storey Design

103 FENCING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
	1 - check all windows are closed before beginning work 2/23.5						
7282	returns 1/1.5 1/1.0 Supply & Install Metal Framed Fence Gates (standard latch, no locking mechanism) Contract Type - {contract type}	2	Off	\$200.00	\$400.00	1	1
Total 103 FENCING					\$2,875.00		

104 CLOTHES HOISTS \ LETTER BOXES

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
73402	Letterbox - Provisional Sum	1	Off	\$1.00	\$1.00	1	1
7342	Wall Mounted Clothes Line "SUNNI" Budget line, 2.4x0.92x12 lines Note: 1.0 Colour - {clothes line colour} 2.0 Contract Type - {contract type} 3.0 Position - {clothes line position}	1	Off	\$110.00	\$110.00	1	1
7343	Vinyl Numbers to letter box {letterbox numbers vinyl}	1	Off	\$0.00	\$0.00	1	1
7345-post	Extra to mount wall mounted clothes line on freestanding posts Note: 1.0 Colour - {clothes line colour} 2.0 Contract Type - {contract type} 3.0 Position - {clothes line position}	1	Off	\$100.00	\$100.00	1	1
Total 104 CLOTHES HOISTS \ LETTER BOXES					\$211.00		

105 ESTIMATING

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
74351	Measure, Quantify and Prepare Rated Bill of Quantities	305.25	m2	\$3.00	\$915.75	1	1
Total 105 ESTIMATING					\$915.75		

106 CONTINGENCY & THEFT

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
7453	Contingencies & Site Theft Allowance	15	Off	\$100.00	\$1,500.00	1	1
Total 106 CONTINGENCY & THEFT					\$1,500.00		

110 WINDOW SERVICE

Item	Description	Quantity	Units	Rate	Amount	Lvl	Ld
67451	Window Service per item	22	Off	\$0.00	\$0.00	1	1



Bill of Quantities

1 April 2009

Job example2 Example 2 Storey Design

110 WINDOW SERVICE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
6746	Window service callout charge	1	Off	\$100.27	\$100.27	1	1
67461	Allowance for angles above windows where gal lintels used over large openings	6.9	m	\$3.41	\$23.50	1	2
Total 110 WINDOW SERVICE					\$123.77		

115 PLUMBING APPROVAL INSTALL HOT-WS

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
plmb-90000	Final Plumbing Approval Certificate	1	Off	\$266.20	\$266.20	1	1
	Note: Payment will not be made unless a council certificate accompanies your invoice. Invoices received without the correct certificate attached will be returned.						
Total 115 PLUMBING APPROVAL INSTALL HOT-WS					\$266.20		

117 MAINTENANCE

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
7454	Maintenance Allowance - Minor maintenance works during settling in period	1	Off	\$455.00	\$455.00	1	1
Total 117 MAINTENANCE					\$455.00		

130 Power usage during construction

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Amount</u>	<u>Lvl</u>	<u>Ld</u>
01613	Energex - Power usage during construction	2	Off	\$80.00	\$160.00	1	1
Total 130 Power usage during construction					\$160.00		

Total example2 Example 2 Storey Design \$248,037.02



Company Overheads		
Creditor	Code	Service Provided
Acacia Connection	ACA001	EAP Program
AMC Cleaning	AMC001	Cleaning
Asset Fire	ASS002	Fire Panel/Extinguisher Testing
Claffey	CLA002	A/C Maintenance & Repairs
Cleanaway (Toxfree)	TOX001	Bin collections
Elevate Communications	ELE001	Digital marketing/website
Energy Australia	ENE005	Power
Aussie Water Coolers	AUS001	Rental/service of water cooler
FVS Fire	FVS001	Fire Panel/Extinguisher maintenance
GMR Security	GMR001	Security
Interactive	INT009	Server maintenance
Merlo Construction Law	MER001	Legal Fees
Canon	CAN001	Printers
Kumho	TYR001	Motor Vehicle Service & Repairs
Martin Worth Mowing	SUNDRY	Garden Maintenance
NECA	NEC001	Labour Hire
Neca Trade Services	NEC003	Uniforms
Netrent	NET005	Rent
Netsip	NET006	Fax to email/number hosting
Office Supplies	OFF001	Stationery
Over the Wire	OVE001	Internet
QLD Transport	QUE004/Q	Vehicle Registration
Shred-It	SHR001	Destruction bin
Afirm Accounting	AFI001	Accounting Fees
Snap Printing	SNA001	Order/amendment books
Solutions Connect	SOL003	Arrow support
Supagas	SUP007	Gas bottles
Swiped On	VIS002	Sign In App
TAA Connect	TAA001	Phone cases/Screen Protectors
Telstra	TEL001	Non-recharge accounts
WorkPac	WOR004/V	Labour Hire

Site Overheads		
Creditor	Code	Service Provided
Retention	REN001	Retention held
Linkt	QUE002	Toll Recharge
Fuelmax	INT001	Fuel recharge
Telstra	TEL001	Mobile phone recharge
Site Amenities	SUNDRY	Lunch room, bathroom ect
Journals	JOU003	Miscellaneous fees



New Home Tender for: Jeffrey Veldink and Gabrielle Veldink
 Job No: J7847
 Reference No: TL7847.1
 Dated: 3-Apr-03

BLE:AHM:MDR

NEW HOME TENDER

PREPARED FOR:

OWNER: Jeffrey Veldink and Gabrielle Veldink
 at
 SITE ADDRESS: Lot 48 Cassim Place, Redland Bay
 LOCAL AUTHORITY: Redland Shire Council

House Design: Modified Antigua 397

Basic House Price (Modified Standard Plan dated 20-Mar-03) based on the Coral Homes Designer range of inclusions.

\$146,177.00

Provide Coral Homes "Value Pack" range of Classic inclusions.

\$1,980.00

Please Note: All prices quoted are inclusive of GST.

SITE WORKS

The following **FIXED PRICE** Site Costs have been prepared to suit Coral Homes site plan dated 31-Mar-03. They are in addition to the Basic House Price.

HOUSE PAD (CUT/FILL AREA)

Provide equal excavation and filling works to produce a level house pad (cut/fill area) to RL 10.35 with a maximum crossfall over the house area of 0.79m.

Size of the house pad (cut/fill area) as indicated on the site plan (approximately 2000mm larger than the concrete floor slab dimensions).

Price for excavation and filling works - *includes* - rock excavation as required.

Please Note: Rock excavation mentioned above relates to house pad excavation and filling works only.

Please Note: House pad level (RL) is approximate only and may vary subject to site conditions.

Please Note: Excess excavated material to be spread over the site by the Builder. Should the quantity of excess excavated material exceed the amount required for spreading over site, the remainder of material will be stockpiled on site for disposal by Owner (this material may be used on garden beds etc.).

\$924.00

RETAINING WALLS

Owner to provide retaining walls as required.

Please refer to the notes "Owner Constructed Retaining Walls (Cut Side)" and "Owner Constructed Retaining Walls (Fill Side)" (at the rear of this Tender).

BY OWNER

SITE CLASSIFICATION

Provide Monolithic style concrete slab and screw-in piling system to engineer's design recommendations for a type "M" site classification.

\$3,524.00



"Built On Trust"

New Home Tender for:

Jeffrey Veldink and Gabrielle Veldink

Job No:

J7847

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TL7847.1

Dated:

3-Apr-03

BLE:AKA:MDR

POWER SERVICE

Provide single-phase underground power service connection including trenching from power box to meter box positioned on external wall.

Position of Meter Box: Front right hand side of garage (as viewed from the road).

Position of Power Box: Front right hand side of boundary (as viewed from the road).

INCLUDED**SEWERAGE SERVICE**

Provide connection of sewer service to "as constructed" sewer main located to the rear of the property.

\$231.00 ?

As home is to be built near a sewer line, Coral Homes have allowed for additional piercing costs to below the "Zone of Influence" in accordance with standard building practice. If the Local Authority requires any additional items due to the sewer location, then these costs will be charged to the Owner by way of variation to contract.

\$452.00 ✓**STORMWATER SERVICE**

Provide connection of stormwater service to inter-allotment drainage.

Please refer to the note "Stormwater Dispersal" (at the rear of this Tender).

INCLUDED**WATER SUPPLY**

Provide connection of water service to reticulated main.

INCLUDED**WIND SPEED CLASSIFICATION**

Provide N2 (W33N) wind rating as indicated on engineer's site investigation.

Please refer to the note "Wind Speed Classification" (at the rear of this Tender) in relation to wind speed included in this Tender.

INCLUDED**DESIGN MODIFICATIONS**

The Following Design Modifications have been made to the Modified Antigua 307 house design:

Provide a Plantation Façade.

\$1,480.00**STRUCTURAL MODIFICATIONS**

Provide a 6000mm x 4000mm patio under main roof to right hand side elevation of family room, including three (3) brick piers and painted fibre cement ceiling fixed to underside of trusses and painted Hardiflex panels above external openings.

Please Note: Price does NOT include concrete slab.

INCLUDED

Delete eaves to the rear elevation of house and provide painted fibre cement infill panels above all window and door openings (if applicable).

\$0.00**EXTERNAL MODIFICATIONS**

Provide heavy bagged and painted finish to external brick walls including brick piers to portico and patio (five (5) brick piers in total) applied in accordance with sample board and to include:

- Single height common bricks in lieu of single height face bricks
 - Paint finish comprising of one (1) primer undercoat and two (2) coats of low sheen acrylic
- Please Note: Any Hardiflex infill panels will have paint finish only.

\$4,754.00

Client Initials

Client Initials



"Built On Trust"

New Home Tender for:

Jeffrey Veldink and Gabrielle Veldink

Job No:

J7847

Reference No:

TL7847.1

Dated:

3-Apr-03

BLEAHA:MDR

Provide Cedar look Colorbond finish with "Seville" profile to existing garage door in lieu of standard finish.

\$530.00

Provide Hume "Vaucluse Premier XVP10" hinged external double doors to front entry in lieu of standard double doors (includes paint finish doors, one (1) set of Builder's standard external door furniture and two (2) weather seals).

\$314.00

INSULATION

Supply and install R2.5 cellulose fibre insulation (100mm thick) to entire ceiling of house (excluding garage and portico).

\$1,150.00

Supply and install Rhinowrap building grade sarking to all external walls including garage.

\$890.00

INTERNAL MODIFICATIONS

Provide 3210mm long x 750mm wide post formed laminated bench top only (supported by a laminated gable leg with no cupboards under) to left hand side elevation of study.

\$1,294.00

Provide five (5) banks of three (3) 450mm wide open painted pyneboard shelves - two (2) to walk-in robe and one (1) each to bedrooms 2, 3 and 4 built-in robes. Bank of shelves to walk-in robe to be positioned adjacent mirror faced sliding doors and bank of shelves to bedrooms 2, 3 and 4 built-in robes to be positioned adjacent internal hinged doors. *move bedroom 2 to 5th wall*

\$575.00

Provide Chateau / Pacific / Oakfield / Vienna internal doors in lieu of existing flush panel internal doors. Feature doors to be positioned throughout house (sixteen (16) doors in total).

\$768.00

WET AREA MODIFICATIONS

Supply and install a 1300mm (nominal) 'Stylus Mirage' corner bath to bathroom in lieu of standard.

INCLUDED

Provide a 1200mm long x 300mm wide single bowl laminated vanity unit with white Caroma Concorde semi-recessed basin, post formed laminated top, three (3) doors and one (1) bank of drawers to the bathroom in lieu of existing vanity unit. Mirror to be full length of vanity top.

\$565.00

Provide a 1500mm long x 300mm wide double bowl laminated vanity unit with white Caroma Concorde semi-recessed basin, post formed laminated top, three (3) doors and two (2) banks of drawers to the ensuite in lieu of existing vanity unit. Mirror to be full length of vanity top. - 2

\$979.00

Provide two (2) "Posh Solus" chrome single towel rails to ensuite in lieu of standard, one (1) "Posh Solus" chrome double towel rail to bathroom in lieu of standard and three (3) "Posh Solus" chrome toilet roll holders - one (1) to each WC and powder room in lieu of standard.

\$124.00

Provide Clark 8011T (45 litre) stainless steel laundry tub in lieu of standard laundry tub. Price includes additional splashback tiling as required

\$60.00

KITCHEN MODIFICATIONS

Provide an "A" style 700mm wide x 600mm deep x 2220mm high (approximate sizes) laminated wall oven tower to kitchen in lieu of existing plasterboard wall oven tower. Laminate wall oven tower to include:

- One (1) pot drawer (height of pot drawer is dependant upon wall oven model)
- Microwave space with cupboard above
- Painted bulkhead
- Deletion of existing plasterboard wall oven tower.

\$730.00



New Home Tender for:

Jeffrey Veldink and Gabrielle Veldink

Job No:

J7847

Reference No:

TL7847.1

Dated:

3-Apr-03

BLEAHAMDR

APPLIANCES

Provide Blanco BRSS602RSS front recirculating slide-out rangehood in lieu of standard.

\$98.00 ✓

Provide Blanco GMRS4400W/X gas cooktop including single power point in lieu of standard electric cooktop.

\$60.00 ✓

Provide LP bottled gas pipework and connection to the cooktop.

Please Note: Gas bottles and security deposit is to be organised and paid for by the Owner and the location of gas bottles will be as per the gas company's regulations.

\$550.00 ✓

ELECTRICAL MODIFICATIONS

Provide an automatic garage door opener with two (2) handsets to garage door.

\$592.00 ✓

Supply and install 2 light model fan / light / heater combination units to bathroom and ensuite in lieu of existing light points.

\$522.00 ✓

Total number of light points = 23

Total number of single power points = 6

(includes 1 for dishwasher space, 1 for fridge space,

1 for microwave space, 1 for rangehood,

1 for gas cooktop and 1 for automatic garage door opener)

Total number of double power points = 17

Total number of TV points = 2

Total number of smoke detectors = 3

Total number of exhaust fans = 3

Total number of 2-way switches = 1

Total number of 2 light model fan / light / heater combination units = 2

Please Note:

- Exact location of all electrical fixtures will be finalised with the electrical contractor during your on-site meeting.
- Light points include bayonet fitting only. Installation of Owner's light fittings is additional cost.
- TV antenna not included unless otherwise noted.

CONCRETE PUMP

Provide concrete pump.

INCLUDED

COUNCIL FEES

Provide additional Council fees including water application fees if applicable to suit Redlands Shire Council.

\$420.00

Please Note: Council fees exclude any fees associated with vehicle crossover application.

NOTE

Please Note: Council fees exclude any fees associated with driveway construction bond.

NOTE

Client Initials

Client Initials



"Built On Trust"

New Home Tender for: Jeffrey Veldink and Gabrielle Veldink
 Job No: J7847
 Reference No: TL7847.1
 Dated: 3-Apr-03

BLE:AH:MDR

ADDITIONAL ON SITE MANAGEMENT REQUIREMENTS

Provide additional on site management requirements which could include but are not limited to the following: equipment hire and / or labour for the placement of building materials, on-site waste management control, Environmental Protection Authority, Workplace, Health and Safety requirements, edge protection or temporary downpipes as deemed necessary and as costed for the site specific requirements.

INCLUDED

ADDITIONAL ITEMS RECOMMENDED BY CORAL HOMES

The following items are not required by the Local Council but are considered good construction practice and are recommended by Coral Homes to reduce ongoing maintenance costs and prolong the life of the home.

Provide two (2) 250mm x 250mm yard gully drains (located as per site plan) to disperse surface water drainage.

Please Note: Gully drains are to be connected to a separate stormwater line to avoid overflow of downpipes during heavy rain, which can cause damage to your home.

\$663.00

SUB TOTAL: \$170,406.00

FINISHING ITEMS

Provide slicing security screen doors to existing sliding doors to family room (two (2) sliding doors in total). *of laundry.*

\$738.00 ✓

Provide security screen door to existing external hinged door to garage (one (1) hinged door in total).

\$272.00

Provide flyscreens to existing windows with opening sashes/panels only (twenty one (21) opening sashes/panels in total).

\$630.00

Provide keyed vent locks to twenty one (21) windows in lieu of standard one (1) locking position.

\$189.00

Provide a Gainsborough 850 double cylinder deadlock to garage external door in addition to standard external door furniture (one (1) deadlock in total).

\$72.00

Provide a Gainsborough 850 double cylinder deadlock to double entry doors in addition to standard external door furniture (one (1) deadlock in total).

\$88.00

Provide stain grade finish to entry frame and door in lieu of standard paint finish.

\$153.00

*May
Stallman
Stained
door*

EXTERNAL WORKS

Provide 65m² of "Builder's range" PGH clay paver to driveway and path including physical barrier. Pavers to be laid on a "Fibrecrete" reinforced concrete slab. Pavers to be laid on a 90 degree / 45 degree standard Herringbone pattern with a contrasting edge paver. Exact location and shape of external paving to be nominated by Owner when proceeding to contract.

Please Note: Should actual amount of external paving required exceed allowed amount the Owner shall be charged for the additional works via a variation to the contract.

\$4,550.00

Provide 2.5m x 2.0m x 100mm thick reinforced broom finished concrete pad to clothesline including physical barrier.

\$338.00

Provide PVC 'U' shaped drainage channel with trench and grate to the driveway / garage junction including connection to stormwater drainage.

\$362.00



"Built On Trust"

New Home Tender for:

Jeffrey Veldink and Gabrielle Veldink

Job No:

J7847

Reference No:

TL7847.1

Dated:

3-Apr-03

BLEAHA:MDR

Provide a wall mounted powder coated clothesline with 12 lines incorporating 27 lineal metres of line space.

Please Note: Heritage green or beige colours only.

\$135.00

Provide *Keg Can / Cottage Can / Kelly* style powder coated aluminium letterbox (excluding house numbers).

\$186.00

MISCELLANEOUS

Provide "Value Pack". Including the following:

- Firmapanel sectional overhead garage door
- Built-in wall oven tower with microwave space
- Rangehood in decorative housing
- Three (3) coat interior paint system
- Stainless steel appliances (if selected)
- Sediment control.

INCLUDED**FIXED PRICE TENDER TOTAL:****\$178,116.00****SPECIFICATION**

When proceeding to contract this New Home Tender Letter is to be read in conjunction with Coral Homes Specification SP7847. Any items detailed in this New Home Tender Letter TL7847.1 which alter the items included in the Specification take precedence over the Specification item in all aspects.

SITE WORKS NOTES

The site costs included in this document are based upon the on site conditions as indicated in the contour survey and soil report. Upon commencement of construction, should the on site conditions have altered from those indicated in the contour survey and soil report the Builder shall reassess the site costs and any increase or decrease in costs shall be borne by the Owner.

No allowance has been made to remove grass and/or vegetation exceeding 300mm in height, which may be present on site. Upon commencement of construction should clearing of grass and/or vegetation be required all costs associated will be at Owner's expense.

No allowance has been made should Local Council require the level of the building platform/floor slab to be raised to meet any minimum floor level requirements. If required, then all associated costs including imported fill, machine hire, survey to determine AHD levels, engineer's slab design fees, Local Council fees, drafting fees and administration fees will be incurred by the Owner.

Most Councils restrict the issuing of information to Builders on minimum floor levels for houses in flood affected areas until a building application has been approved. This greatly affects Coral Homes' ability to foresee any extra costs involved in raising building platform/floor levels to meet Local Council's minimum requirements prior to submission of a building approval, therefore Coral Homes **CANNOT** include such costs to raise the minimum floor levels in our fixed price site costs.

Should Local Council or Coral Homes' engineer require surface water drainage system/s in addition to works already included in the New Home Tender, then all costs including drafting fees, Local Council fees and administration fees will be incurred by the Owner.

Client Initials

Client Initials

Site Overheads vs Company Overheads

Site overheads are general costs which are related to a particular project on a particular site, but which are not incorporated to a cost centre. For example, site toilets used by all trades or cranes owned by the builder but also used by other groups.

Company overheads are associated with running the business, these costs also been to be incorporated in the overall price but aren't site overheads. For example, renting of a office building, administration and electricity. Usually the company accountant will advise a percentage to be added to the budget to cover the company overheads. Please find attached a document that shows the common Coral Homes site overheads and company overheads

The profit on a project is the amount remaining after all costs have been meet. It is estimated by adding an amount to the builder's total cost, either as a percentage or as lump sum amount and can range anywhere from 5% to 20%. The company profit can also be added when creating the estimate for labour and materials by adding a margin to each item. An example of this calculation is above.

At this point the estimate is ready to be finalised and the final costs calculated ensure to include the following – totals for all the trades, builders' total costs and percentage of profit and company overheads.

Completed estimated Project Costs

Doing job-costed calculations on a spreadsheet can have a lot of room for errors, job costing software streamlines the process and automates the calculations to make everything easier and faster.

The final cost must be formally given to the client in a letter of quotation. Stating the final cost, conditions, discrepancies and invitation to proceed. Please find attached a final tender letter for your perusal that was given to the client for their new build in Redland Bay.

This last email was the final steps to calculating project costs for construction.

Please let me know if you have any questions.

Thanks,

Tess Dunning
Contract Administrator

Occasion 2 – Commercial – Blue Star

To: carl@bluestar.com.au

From: tess@bluestar.com.au

Subject: Current project: Burleigh State School

Hi Carl,

As discussed, we will be working together to estimate the D&C electrical package for above project. The first topic is to understand plans and specifications.

Plans & Specifications -

Identifying and interpreting plans and drawings are critical to showing all parties the proposed structure and what it will look like when completed. Common types of plans include, project plans, location plans, site plans, floor plans, section, elevation and contours. If you are unsure of the difference between the plans, please let me know and I'll send you through some information.

On the plans there will be a number of symbols and abbreviations, this is to help interpret the drawings and help envision the end project. The project specification document should also be read with the plans as the specs document is part of the description of the building being built. See attached an electrical plans of a classroom for Burleigh State School.

Drawings are usually arranged in the approximate order of construction – A set of drawings consists of:

Civil (C-1, C-2, etc): include plot or site plans, utilities, easements, grading and landscaping

Structural (S-1, S-2, etc): include foundation, structural steel, building support system, roof framing

Architectural (A-1, A-2, etc): include floor plans, elevations, building sections, door and window schedules and room finishes

Electrical (E-1, E-2, etc): include electrical wiring, lighting plan, reflected ceiling plan, panel schedules

Mechanical (M-1, M-2, etc): include heating, ventilating, sprinkler systems and air conditioning plans

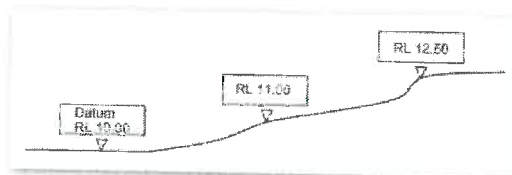
Plumbing (P-1, P-2, etc): include hot and cold water system layout and sewage disposal systems

Ensure to review all types of plans to get a full understanding of the project, not just the electrical plans.

All construction requires use of accurate measurement and calculation of quantities which is done by either the builder or a quantity surveyor. In the tender package we will receive a number of measurements common measurement methods includes, counting, length, area, volume and weight.

Things to remember when reading other plans and drawings are reduced levels and gradients –

Reduced levels indicate height on a drawing and is usually shown to two decimal places, to the nearest 10mm. Reduced levels may have 'RL' in front of them to show that the figure represents a reduced level. See example below.



1



NOTE:
ALL THE SIZES ARE INDICATIVE ONLY. THE SIZES TO BE CALCULATED AND COMBINED AS PART OF DETAILED DESIGN.

DESIGN AND CONSTRUCTION NOTES:

A. REFERENCE TO MATERIALS, PERFORMANCE SPECIFICATION FOR THE SUPPLIES OF THE PROJECT.

B. THIS SPECIFICATION AND ASSOCIATED DRAWINGS HAVE BEEN PRODUCED UNDER A DESIGN & CONSTRUCT CONTRACT AND SHALL BE USED IN THIS DESIGN INTENT ONLY AND DO NOT INCORPORATE ALL ELEMENTS NECESSARY FOR A COMPLETE INSTALLATION. THE CONTRACTOR SHALL COMPLETE THE DESIGN AND ALLOW FOR ALL ASSOCIATED COSTS AND RISKS OF CONSTRUCTION. ALL PROJECTS ARE TO BE COMPLETED IN ACCORDANCE WITH THIS DESIGN INTENT. THIS IS A QUALITY-BASED, NOT A PRICE-BASED, CONTRACT. THE CONTRACTOR SHALL ALLOW SUFFICIENT COST CONTINGENCIES, CONSIDERING THE INHERENTLY UNCERTAIN NATURE OF THE PROJECT, TO COVER THE RISK OF THE CONTRACTOR'S DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE INSTALLATION, INCLUDING THE DESIGN OF THE FOUNDATION, AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PACKAGE.

C. STATE CURRENT, ULTIMATE & DESIGN IN THE HYDROLOGICAL SYSTEM'S PERFORMANCE SPECIFICATION. THE DOCUMENTATION DOES NOT INCORPORATE COMBINATION WITH OTHER TREATS AND GENERALLY DOES NOT INCLUDE ELECTRICAL AND SHALL BE IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION TENDER PACKAGE.

D. ALL WORKS SHALL COMPLY WITH THE CODES, STANDARDS AND DEFECT PREVENTION REQUIREMENTS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FOUNDATION, AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PACKAGE.

E. THE CONTRACTOR SHALL OBTAIN PERMITS FOR EACH DOCUMENT FROM THE SUPERINTENDING AUTHORITY TO COMMENCE ANY DESIGN WORK ON THE PROJECT.

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The use of lines is important for contour drawings. Approximately concentric closed contours with decreasing values towards centre see below indicate a pond, with increasing values towards centre indicate hills. Another important thing to remember is that contour lines do not meet or intersect each other

The basic unit of linear measure in the metric system is metres, other linear units are either fractions or multiples of a metre such as millimetre, centimetre and kilometre. Carl, please remember to be aware of all codes and standards that align with electrical works - ensure to focus on the Australian Electrical Standards AS/NZS 3000:2018 (the wiring rules) and AS/NZS 3012:2019 (Electrical installation). Builders will follow the NCC documents that reference the building standards.

Thanks,

Tess Dunning
Contract Administrator

To: carl@bluestar.com.au
From: tess@bluestar.com.au
Subject: Current project: Burleigh State School

Hi Carl,

As discussed here is some information on identifying and calculating labour costs.

Identify & calculate labour costs -

Using the plans and specification as a reference, you can start to gauge the staff requirements to complete the construction task. You need to determine what tasks can be completed by your employees and what tasks a subcontractor can do.

There are a number of different trades that need to be organised for a construction project and these will differ depending on the type of work that needs to be completed. Some trades include which the builder will organise is excavation, plumbing, steelfixing, gas fitting and concreting.

Calculating labour hours for non-contract elements of on-site works –

There are aspects of on-site work that do not form part of the contract, costs associated with running the business eg. overheads for administration staff. It's important to calculate the labour hours in relation to these non-contractual elements of work. Once we have the final figure of the project, we then add our overhead costs and business profit.

To calculate labour costs, start by working out how much it costs per day (or hour) to have an employee on the job, multiply that rate by the time you expect the job to be done. You then need to identify where you'll need subcontractors, have the contractors estimate the job but be aware they may not be as precise as us, ensure you also do a calculation.

Please let me know if you have any questions.

Thanks,

Tess Dunning
Contract Administrator

To: carl@bluestar.com.au
From: tess@bluestar.com.au
Subject: Current project: Burleigh State School

Hi Carl,

Yesterday you mentioned that you didn't know much about identifying physical resource requirements. Here is the important thing you need to know. To organise materials for a project you need to know what is required. This is when you read the bill of quantities, specifications, materials spreadsheet or create your own take offs.

Establish physical resource requirements

A bill of quantity (BOQ) and a materials list are documents used in the tendering process in the construction industry. The quantities may be measured in number, length, area, volume, weight or time. Generally, the builder will supply this with their own quantities. This allows them to compare cost against separate items with ease and estimate with accuracy and fairness. Please see attached the bill of quantities that are being used for this project. If a bill of quantities is not supplied estimators are to conduct 'take offs' basically counting all the materials that are needed for the project. Please find attached an example 'take off' or materials spreadsheet from another project. This way is to ensure that the final quote is comprehensive, and the final figure is as low as possible. Ensure to always refer to standard construction contracts and Australian standard guideline for reference.

Once you have a list of materials you need for construction it's then time to locate suppliers for pricing and availability. You can find multiple supplier online, attending industry events and using your network from other projects. The key factors to choosing suppliers are – price, reliability, stability, location and supplier groups. Once you have a list of suppliers, ask them to send you a quote for the goods you are after, where appropriate you can request samples of the goods. Please see attached quote for conduit and lighting.

Hiring plant and equipment is not dissimilar to purchasing materials for the project. Plant refers to large mechanical machinery and equipment is smaller non-mechanical tools both are used on site. Ensure to contact suppliers for a quote as well, these costs will be added to the final project figure.

Please let me know if you need any more information regarding bill of quantities and quotes of materials and plant hire.

Thanks,

Tess Dunning
Contract Administrator

BURLEIGH STATE SCHOOL PART 1
BUILDER'S QUANTITIES (FOR INFORMATION PURPOSES ONLY)

REF	DESCRIPTION	QTY	UNIT	RATE	AMOUNT
BQ17	ELECTRICAL SERVICES				
	BURLEIGH STATE SCHOOL PART 1				
	PREAMBLES & PRICES CLAUSES		Head1		
	Measurement Notes and Preambles		Head2		
	This Schedule of Builder's Quantities has not been measured in accordance with the Australian Standard Method of Measurement or any other recognised method of measurement. It is a Schedule designed to provide the Contractor with the major items of work		Note		
	Where measurement and prices clauses have been included they are only to point out items of specific importance for the Contractor to consider when pricing the trade. They are not extensive and do not cover everything the Contractor needs to consider		Note		
	The Contractor shall be deemed to have included in the prices for everything required to satisfactorily carry out the work in accordance with the drawings and specifications. This includes all labours, minor items, fixings, incidentals, etc. associated with a measured item in this Schedule of Builder's Quantities		Note		
	Contract Agreement, Staging, etc.		Head2		
	The Contractor shall be deemed to have inspected the Building Contract, Special Conditions of Contract, Conditions of Tendering and any other similar documents. The Contractor shall ensure prices for the work include for all costs involved in complying with the requirements of these documents		Note		
	The Contractor shall ensure prices for the work include for complying with particular Construction notes, sequences, methods, restrictions, etc. contained on the Drawings and in any other documents		Note		
	Inspection of the site		Head2		
	It is the Contractor's responsibility to visit the site before tendering and fully inform himself of all existing conditions which may affect the pricing		Note		
	Specification		Head2		
	The Contractor is referred to the Drawings, Specifications, relevant Australian Standards, etc. for the full description of materials, workmanship, etc. and shall include in the prices for all cost involved in complying with the requirements of these documents		Note		
	Measurement and Prices		Head2		
	All quantities are measured NET as fixed in position and exclusive of waste, laps, overpour, overbreak, bulking, etc.		Note		
	Prices shall be deemed to include where relevant, for testing, submitting samples, data submissions, all authority fees, licenses and permits, preparing shop drawings, giving notice for inspections, co-ordination and co-operation between all subcontractors, quality assurance, rubbish removal, progressive and final cleaning, protection of the finished works, provision of warranties, provision of spare materials, operating and maintenance manuals, as-built drawings		Note		
	Prices shall be deemed to include, where relevant, for: materials required for lapping, jointing and the like, square, raking, splay and circular cutting, waste of materials, labour and all costs in connection including drilling, setting, notching, fitting and fixing of materials and goods in position, all plant, craneage, access equipment, scaffolding and other equipment, all temporary construction safety requirements, taxes, overtime, bonuses, duties and royalties		Note		
	WORKING WITHIN AN OPERATING FACILITY		Head1		
	Prices for these works shall include, where relevant, for all cost implications of working within the grounds of an existing operating facility and ensuring the minimisation of disruption to facility operations, all as per the project requirements and constraints		Note		
	ELECTRICAL SERVICES		Head1		
	Generally		Head2		
150	Refer to the Drawings and Specifications for details and descriptions of materials and workmanship		Note		
	Light Fittings		Head2		
101	LED 'L' shape light post with paint finish including connection (LP.1)	5	No		
102	LED 'L' shape light post with paint finish including connection (LP.4)	1	No		
104	LED 'L' shape light post with paint finish including connection (LP.3)	4	No		
123	Recessed LED linear luminaire, dali dimmable (SL) - complete	64	m		

BUILDER'S QUANTITIES (FOR INFORMATION PURPOSES ONLY)

COMMERCIAL IN CONFIDENCE

BURLEIGH STATE SCHOOL PART 2
BUILDER'S QUANTITIES (FOR INFORMATION PURPOSES ONLY)

REF	DESCRIPTION	QTY	UNIT	RATE	AMOUNT
BQ15	ELECTRICAL SERVICES				
	BURLEIGH STATE SCHOOL PART 2				
	PREAMBLES & PRICES CLAUSES		Head1		
	Measurement Notes and Preambles		Head2		
	This Schedule of Builder's Quantities has not been measured in accordance with the Australian Standard Method of Measurement or any other recognised method of measurement. It is a Schedule designed to provide the Contractor with the major items of work		Note		
	Where measurement and prices clauses have been included they are only to point out items of specific importance for the Contractor to consider when pricing the trade. They are not extensive and do not cover everything the Contractor needs to consider		Note		
	The Contractor shall be deemed to have included in the prices for everything required to satisfactorily carry out the work in accordance with the drawings and specifications. This includes all labours, minor items, fixings, incidentals, etc. associated with a measured item in this Schedule of Builder's Quantities		Note		
	Contract Agreement, Staging, etc.		Head2		
	The Contractor shall be deemed to have inspected the Building Contract, Special Conditions of Contract, Conditions of Tendering and any other similar documents. The Contractor shall ensure prices for the work include for all costs involved in complying with the requirements of these documents		Note		
	The Contractor shall ensure prices for the work include for complying with particular Construction notes, sequences, methods, restrictions, etc. contained on the Drawings and in any other documents		Note		
	Inspection of the site		Head2		
	It is the Contractor's responsibility to visit the site before tendering and fully inform himself of all existing conditions which may affect the pricing		Note		
	Specification		Head2		
	The Contractor is referred to the Drawings, Specifications, relevant Australian Standards, etc. for the full description of materials, workmanship, etc. and shall include in the prices for all cost involved in complying with the requirements of these documents		Note		
	Measurement and Prices		Head2		
	All quantities are measured NET as fixed in position and exclusive of waste, laps, overpour, overbreak, bulking, etc.		Note		
	Prices shall be deemed to include where relevant, for testing, submitting samples, data submissions, all authority fees, licenses and permits, preparing shop drawings, giving notice for inspections, co-ordination and co-operation between all subcontractors, quality assurance, rubbish removal, progressive and final cleaning, protection of the finished works, provision of warranties, provision of spare materials, operating and maintenance manuals, as-built drawings		Note		
	Prices shall be deemed to include, where relevant, for: materials required for lapping, jointing and the like, square, raking, splay and circular cutting, waste of materials, labour and all costs in connection including drilling, setting, notching, fitting and fixing of materials and goods in position, all plant, cranes, access equipment, scaffolding and other equipment, all temporary construction safety requirements, taxes, overtime, bonuses, duties and royalties		Note		
	WORKING WITHIN AN OPERATING FACILITY		Head1		
	Prices for these works shall include, where relevant, for all cost implications of working within the grounds of an existing operating facility and ensuring the minimisation of disruption to facility operations, all as per the project requirements and constraints		Note		
	ELECTRICAL SERVICES		Head1		
	Generally		Head2		
155	Refer to the Drawings and Specifications for details and descriptions of materials and workmanship		Note		
	Light Fittings		Head2		
59	LED 'L' shape light post with paint finish including connection (LP.4)	3	No		
60	LED 'T' shape light post with paint finish including connection (LP.3)	3	No		
123	LED 'L' shape light post with paint finish including connection (LP.5)	1	No		
79	Recessed LED linear luminaire, dali dimmable (SL) - complete	82	m		
82	LED illuminated directional exit sign - complete	3	No		
81	3W dual LED emergency luminaire (EM1) - complete	5	No		

BUILDER'S QUANTITIES (FOR INFORMATION PURPOSES ONLY)

REVISION A

EXAMPLE HIGH RISE UNIT TOWER - LIGHT FITTING TAKEOFF	A1	A2	A3	A4	A5	B1	B2	B3	B4	B5	C1	C2	C3	C4	C5	D1	D2	D3	D4	D5	E1	E2	E3	E4	E5
ELECTRICAL DRAWING 1	54	0	0	54	0	0	54	0	0	54	0	0	54	0	0	54	0	0	54	0	0	54	0	0	0
ELECTRICAL DRAWING 2	5	15	29	5	15	29	5	15	29	5	15	29	5	15	29	5	15	29	5	15	29	5	15	29	2
ELECTRICAL DRAWING 3	18	0	0	18	0	0	18	0	0	18	0	0	18	0	0	18	0	0	18	0	0	18	0	0	0
ELECTRICAL DRAWING 4	49	25	214	49	25	86	49	25	54	49	453	214	49	25	284	49	25	214	49	25	214	49	25	27	8
ELECTRICAL DRAWING 5	29	87	0	29	87	0	29	87	0	29	87	0	29	87	0	29	87	0	29	87	0	29	87	0	0
ELECTRICAL DRAWING 6	48	49	0	48	49	0	48	49	0	48	49	0	48	49	0	48	49	0	48	49	0	48	49	0	1
ELECTRICAL DRAWING 7	1	64	3	1	64	3	1	64	3	1	64	3	1	64	3	1	64	3	1	64	3	1	64	3	0
ELECTRICAL DRAWING 8	67	0	3	67	0	3	67	0	3	67	0	3	67	0	3	67	0	3	67	0	3	67	0	3	0
ELECTRICAL DRAWING 9	2	111	3	2	1	3	2	79	3	2	257	3	2	285	3	2	59	3	2	359	3	2	57	3	0
ELECTRICAL DRAWING 10	0	0	3	0	0	3	0	0	3	0	0	3	0	0	3	0	0	3	0	0	3	0	0	3	0
TOTALS	273	351	255	273	241	127	273	319	95	273	925	255	273	525	325	273	299	255	273	599	255	273	297	68	11

**QUOTE**

Quote: 101167870

Date: 18/06/20

Page 2 of 3

Quotation To:

F

Deliver To:

Fax: 07 3200 3111

Account: 7086

De

Quote Expires: 18/07/20

#	Product	Description	Customer Product	Quantity	Unit	Unit Price	GST	Extended Ex GST
18	CL1242/32GY	COUPLING CONDUIT PVC 32MM GREY		100.00	EA	0.5772	5.77	57.72
19	CL1242/40GY	COUPLING CONDUIT PVC 40MM GREY		30.00	EA	1.1280	3.38	33.84
20	KIMCHS25	SADDLE CONDUIT HALF 25MM ZINC PLATED		600.00	each	0.1890	11.34	113.40
21	KIMCHS32	SADDLE CONDUIT HALF 32MM ZINC PLATED		200.00	each	0.3180	6.36	63.60
22	CL1266MD25	BENDING SPRING ZINC 25MM MD		3.00	EA	17.0000	5.10	51.00
25	SUR32LDCBS	BEND SPRING 32MM MD WITH LOOP		2.00	EA	31.0000	6.20	62.00
27	CL1240/500BU	GLUE CONDUIT PVC 500ML BLUE		4.00	EA	6.9500	2.78	27.80
28	BOS30840466	BOSTIK PVC PIPE CEMENT TYPE N BLUE 4 LTR		2.00	EA	24.5000	4.90	49.00
29	B110120	RET247L25M 25MM MD 152RAD SWEEP BEND		100.00	EA	1.7000	17.00	170.00
30	B110120	RET247L32M 32MM MD 305RAD SWEEP BEND		10.00	EA	3.1000	3.10	31.00
31	B110120	RET247L40M 40MM MD 305RAD SWEEP BEND		10.00	EA	4.1000	4.10	41.00
32	CL1220/25GY	PLUG CONDUIT PVC PLAIN 25MM GREY		50.00	EA	0.7500	3.75	37.50
33	TR1EXTR	25MM EXTENSION RING		100.00	EA	0.6200	6.20	62.00
34	CL1260/25GY	LOCK RING PVC 25MM GREY		100.00	EA	0.2035	2.04	20.35
35	CL1263/25GY	ADAPTOR CONDUIT PLAIN/SCREW 25MM GRY		100.00	EA	0.5436	5.44	54.36
36	WH151695	TIEWIRE BELT PACK 1.57 X 95M BLACK		10.00	each	5.0000	5.00	50.00
37	CL1240/251GY	JUNCTION BOX ROUND 1WAY 25MM GREY		20.00	EA	1.0000	2.00	20.00

Continued...

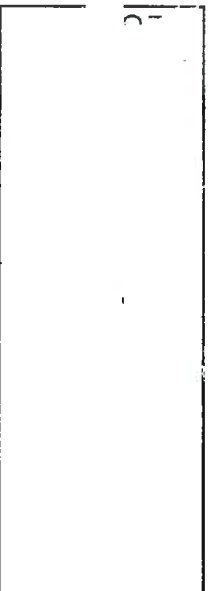
**QUOTE**

Quote: 101167870

Date: 18/06/20

Page 1 of 3

Quotation To:



Account: 7096

Description

Quote Expires: 18/07/20

#	Product	Description	Customer Product	Quantity	Unit	Unit Price	GST	Extended Ex GST
1	CDT9025MD	CONDUIT MD RIGID PVC 25MMX4MTR GREY		1,800.00	L.T	2.2000	396.00	3,960.00
2	CDT9032MD	CONDUIT MD RIGID PVC 32MMX4MTR GREY		600.00	L.T	3.7000	222.00	2,220.00
3	CDT9040MD	CONDUIT MD RIGID PVC 40MMX4MTR GREY		330.00	L.T	5.2500	173.25	1,732.50
4	CDT9050MD	CONDUIT MD RIGID PVC 50MMX4MTR GREY		30.00	L.T	6.8000	20.40	204.00
5	CL19020TCMGY	CONDUIT CORRUGATED M/D 20MM/50M GRY		2.00	RL	29.3000	5.86	58.60
6	CL19025TCMGY	CONDUIT CORRUGATED M/D 25MM/50M GRY		20.00	RL	39.0000	78.00	780.00
7	CL19032TCMGY	CONDUIT TURBO CORR PVC M/D 32MM/25M GRY		6.00	RL	45.0000	27.00	270.00
8	CL1240TLEO	JUNCTION BOX DISPOSABLE LID LESS LUGS		650.00	EA	0.3500	22.75	227.50
9	ASHACX1113	SPLIT CORRUGAT TUBING 21.2MM (INNER) 30M		10.00	PK	42.0000	42.00	420.00
10	CL1221/25EO	FLANGE CONDUIT LOCATING 25MM ORANGE		50.00	EA	0.5500	2.75	27.50
11	CDT9100HD	CONDUIT HD RIGID PVC 100MMX4MTR ORANGE		15.00	L.T	21.0000	31.50	315.00
12	CDT9063HD	CONDUIT HD RIGID PVC 63MMX4MTR ORANGE		10.00	L.T	11.0000	11.00	110.00
13	CL1240/25/1DGY	JUNCTION BOX ROUND DEEP 1WAY 25MM GRY		200.00	EA	1.1000	22.00	220.00
14	CL1240/25/2DGY	JUNCTION BOX ROUND DEEP 2WAY 25MM GRY		350.00	EA	1.1000	38.50	385.00
15	CL1240/25/3DGY	JUNCTION BOX ROUND DEEP 3WAY 25MM GRY		250.00	EA	1.1000	27.50	275.00
16	CL1240/25/4DGY	JUNCTION BOX ROUND DEEP 4WAY 25MM GRY		100.00	EA	1.1000	11.00	110.00
17	CL1242/25GY	COUPLING CONDUIT PVC 25MM GREY		200.00	EA	0.3393	6.79	67.86

Continued...

CNW PTY LTD. MURARIE
10 MILLER STREET
MURARIE QLD 4172
PH 07 3380 2475 FAX 07 3380 1959
CNW 40 000 000 000



QUOTE
Quote: 101167870
Date: 18/06/20
Page 3 of 3

Quotation To:

THE STANLEY GROUP
PO BOX 10
CANNONHILL QLD 4172
AUSTRALIA

Deliver To:

BLUE STAR GROUP PTY LTD
280 L'ETON ROAD
MORFINGSIDE
AUSTRALIA

Account 7096

Description: TULLOCH HOUSE

Contact: Brenden Bauer

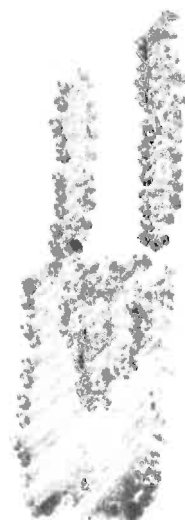
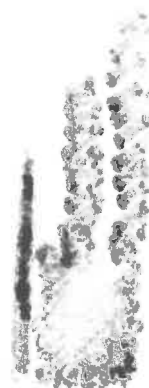
Quote Expires: 18/07/20

#	Product	Description	Customer Product	Quantity	Unit	Unit Price	GST	Extended Ex GST
38	CL1240/25/2GY	JUNCTION BOX ROUND 2WAY 25MM GREY		40.00	EA	1.0000	4.00	40.00
39	CL1240/25/3GY	JUNCTION BOX ROUND 3WAY 25MM GREY		20.00	EA	1.0000	2.00	20.00
40	CL1240/25/4GY	JUNCTION BOX ROUND 4WAY 25MM GREY		10.00	EA	1.0000	1.00	10.00
41	CL1246/25GY	TEE CONDUIT PVC INSPECTION 25MM GREY		10.00	EA	2.7030	2.70	27.03

Send Via:
Carrier:
Freight Acc:
Shipping:

CNW standard terms & conditions apply to this quote.
Copy available on request, please contact the branch or
visit www.cnw.com.au for more information.
This quote is valid for 14 days unless stated otherwise.

Total Ex GST: 12,424.56
GST: 1,242.46
Total Inc GST: 13,667.02



To: carl@bluestar.com.au
From: tess@bluestar.com.au
Subject: Current project: Burleigh State School

Hi Carl,

The next part of project construction is developing estimated project costs.

Labour Rates and Supplier Costs

Once you have picked a supplier you are happy with for your materials/plant hire you are to apply their provided costs to help develop your estimated project costs. One method of calculating such estimates is to cost by material and labour. See below an example calculation

Item	Quantities	Material Price (w/margin)	Labour (w/margin)
Baker lights	5	\$100.00 each	2 hr hour to install @ \$50 per hour

= \$1000.00 budget with margin

This is probably the most accurate method of creating a total cost/budget. Estimates may also be calculated by unit costs such as –per square metre or per metre. Please find attached the budget for labour and materials for this project.

Statutory Costs

A project also has to cover other additional costs which aren't in the contract, beyond the materials hiring and labour. These additional costs can be called statutory costs, one very important statutory cost is WorkCover Insurance. Its compulsory in Queensland to insure workers against workplace accidents by tasking out an accident insurance policy with WorkCover Queensland.

There is also Environmental Protection Authority – Building a construction project can involve a lot of environmental related costs and the following should be considered – removal of asbestos, use of public land and waste/chemical substances etc. Other additional costs include required licences (eg. high risk and electrical workers), registration of vehicles and training for a Health & Safety representative. As stated previously overhead cost percentage is added at the end of the final calculation to ensure these things are covered and implemented if awarded

Site Overheads vs Company Overheads

Site overheads are general costs which are related to a particular project on a particular site, but which are not incorporated to a cost centre. For example, site toilets used by all trades or cranes owned by the builder but also used by other groups.

Company overheads are associated with running the business, these costs also been to be incorporated in the overall price but aren't site overheads. For example, renting of an office building, administration and electricity. Usually the company accountant will advise a percentage to be added to the budget to cover the company overheads. Please find attached a document that shows the common Blue Star site overheads and company overheads

The profit on a project is the amount remaining after all costs have been meet. It is estimated by adding an amount to the electrical total cost, either as a percentage or as lump sum and can range anywhere from 5% to 20%. The company profit can also be added when creating the estimate for labour and materials by adding a margin to each item. An example of this calculation is above.

At this point the estimate is ready to be finalised and the final costs calculated ensure to include the following – totals for all electrical package, a profit percentage and company overheads.

Completed estimated Project Costs

Doing job-costed calculations on a spreadsheet can have a lot of room for errors, job costing software streamlines the process and automates the calculations to make everything easier and faster.

The final cost must be formally given to the client in a letter of quotation. Stating the final cost, conditions, discrepancies and invitation to proceed. Please find attached a final tender letter for your perusal.

This last email was the final steps to calculating project costs for construction.

Please let me know if you have any questions.

Thanks,

Tess Dunning
Contract Administrator

labour.

16050	0					
16050	0	0	16050	16,050	0	0%

DESCRIPTION	LOC.	BUDGET HOURS	VARY HOURS	ACTUAL HOURS	BUDGET TO GO	EST. HRS TO GO	OVER+/- UNDER	% COMP.
	1	1000	0		1000	1,000	0	0%
Supervision	2		0		0	0	0	0%
	3		0		0	0	0	0%
Consultant	4		0		0	0	0	0%
	5	80	0		80	80	0	0%
Site Establishment	6		0		0	0	0	0%
	7	0	0		0	0	0	0%
Energex Work	8		0		0	0	0	0%
	9	440	0		440	440	0	0%
Pits & Pipes	10		0		0	0	0	0%
	11	950	0		950	950	0	0%
Temps	12		0		0	0	0	0%
	13	860	0		860	860	0	0%
Switchboards	14		0		0	0	0	0%
	15	1030	0		1030	1030	0	0%
Submains	16		0		0	0	0	0%
	17	1200	0		1200	1200	0	0%
In situ conduits	18		0		0	0	0	0%
	19	1060	0		1060	1060	0	0%
Cable Pathways	20		0		0	0	0	0%
	21	1430	0		1430	1430	0	0%
Building B	22		0		0	0	0	0%
	23	1380	0		1380	1380	0	0%
Building C	24		0		0	0	0	0%
	25	920	0		920	920	0	0%
Building D1	26		0		0	0	0	0%
	27	920	0		920	920	0	0%
Building D2	28		0		0	0	0	0%
	29	940	0		940	940	0	0%
Building E - Health Hub	30		0		0	0	0	0%
	31	520	0		520	520	0	0%
Building E - Multipurpose Hall	32		0		0	0	0	0%
	33	320	0		320	320	0	0%
Walk ways & External lighting	34		0		0	0	0	0%
	35	3000	0		3000	3000	0	0%
Comms	36		0		0	0	0	0%
	37	0	0		0	0	0	0%
Security Alarm & Access Control	38		0		0	0	0	0%
	39	0	0		0	0	0	0%
CCTV	40		0		0	0	0	0%
	41	0	0		0	0	0	0%
Audio Visual & Hearing Loop	42		0		0	0	0	0%
	43	0	0		0	0	0	0%
PA System & School Bells	44		0		0	0	0	0%
	45	0	0		0	0	0	0%
Metering System	46		0		0	0	0	0%
	47	0	0		0	0	0	0%
Solar	48		0		0	0	0	0%
	49	0	0		0	0	0	0%
Fire Rating	50		0		0	0	0	0%
	51	0	0		0	0	0	0%
Lightning Protection	52		0		0	0	0	0%
	53		0		0	0	0	0%
	54		0		0	0	0	0%
	55		0		0	0	0	0%
	56		0		0	0	0	0%
	57		0		0	0	0	0%
	58		0		0	0	0	0%
	59		0		0	0	0	0%
	60		0		0	0	0	0%
	61		0		0	0	0	0%
	62		0		0	0	0	0%
	63		0		0	0	0	0%
	64		0		0	0	0	0%
	65		0		0	0	0	0%
	66		0		0	0	0	0%
	67		0		0	0	0	0%
	68		0		0	0	0	0%
	69		0		0	0	0	0%
	70		0		0	0	0	0%
	71		0		0	0	0	0%
	72		0		0	0	0	0%

Stigmergic Behavior

DESCRIPTION	LOC.	BUDGET MAT.	VARY MATERIAL	TOTAL ON ORDER	BUDGET TO GO	EST. TO GO	OVER+/- UNDER	% COMP.
Supervision / Journals	1	24000	0	0	24000	24000	0	0%
	2		0	0	0	0	0	0%
Consultant	3	120000	0	0	120000	120000	0	0%
	4		0	0	0	0	0	0%
Site Establishment	5	10000	0	0	10000	10000	0	0%
	6		0	0	0	0	0	0%
Energex Work	7		0	0	0	0	0	0%
	8		0	0	0	0	0	0%
Pits & Pipes	9	50000	0	0	50000	50000	0	0%
	10		0	0	0	0	0	0%
Temps	11	20000	0	0	20000	20000	0	0%
	12		0	0	0	0	0	0%
Switchboards	13	240000	0	0	240000	240000	0	0%
	14		0	0	0	0	0	0%
Submains	15	170000	0	0	170000	170000	0	0%
	16		0	0	0	0	0	0%
Conduits	17	25000	0	0	25000	25000	0	0%
	18		0	0	0	0	0	0%
Cable Tray	19	60000	0	0	60000	60000	0	0%
	20		0	0	0	0	0	0%
Lighting	21	525000	0	0	525000	525000	0	0%
	22		0	0	0	0	0	0%
Bakelite	23	100000	0	0	100000	100000	0	0%
	24		0	0	0	0	0	0%
Subcircuit Cabling	25	80000	0	0	80000	80000	0	0%
	26		0	0	0	0	0	0%
Day to Day Gear	27	30000	0	0	30000	30000	0	0%
	28		0	0	0	0	0	0%
Walk ways & External lighting	29	20000	0	0	20000	20000	0	0%
	30		0	0	0	0	0	0%
Security - CCTV & Intruder Alarm	31	600000	0	0	600000	600000	0	0%
	32		0	0	0	0	0	0%
Comms	33	300000	0	0	300000	300000	0	0%
	34		0	0	0	0	0	0%
AV - PA & Hearing Loop	35	600000	0	0	600000	600000	0	0%
	36		0	0	0	0	0	0%
	37		0	0	0	0	0	0%
	38		0	0	0	0	0	0%
Metering System	39	55000	0	0	55000	55000	0	0%
	40		0	0	0	0	0	0%
Solar	41	90000	0	0	90000	90000	0	0%
	42		0	0	0	0	0	0%
Fire Rating	43	25000	0	0	25000	25000	0	0%
	44		0	0	0	0	0	0%
Lightning Protection	45	60000	0	0	60000	60000	0	0%
	46		0	0	0	0	0	0%
Access Hire	47	20000	0	0	20000	20000	0	0%
	48		0	0	0	0	0	0%
	49		0	0	0	0	0	0%
	50		0	0	0	0	0	0%
	51		0	0	0	0	0	0%
	52		0	0	0	0	0	0%
	53		0	0	0	0	0	0%
	54		0	0	0	0	0	0%
	55		0	0	0	0	0	0%
	56		0	0	0	0	0	0%
	57		0	0	0	0	0	0%
	58		0	0	0	0	0	0%
	59		0	0	0	0	0	0%
	60		0	0	0	0	0	0%
	61		0	0	0	0	0	0%
	62		0	0	0	0	0	0%
	63		0	0	0	0	0	0%
	64		0	0	0	0	0	0%
	65		0	0	0	0	0	0%
	66		0	0	0	0	0	0%
	67		0	0	0	0	0	0%
	68		0	0	0	0	0	0%
	69		0	0	0	0	0	0%
	70		0	0	0	0	0	0%
	71		0	0	0	0	0	0%
	72		0	0	0	0	0	0%

Company Overheads		
Creditor	Code	Service Provided
Acacia Connection	ACA001	EAP Program
AMC Cleaning	AMC001	Cleaning
Asset Fire	ASS002	Fire Panel/Extinguisher Testing
Claffey	CLA002	A/C Maintenance & Repairs
Cleanaway (Toxfree)	TOX001	Bin collections
Elevate Communications	ELE001	Digital marketing/website
Energy Australia	ENE005	Power
Aussie Water Coolers	AUS001	Rental/service of water cooler
FVS Fire	FVS001	Fire Panel/Extinguisher maintenance
GMR Security	GMR001	Security
Interactive	INT009	Server maintenance
Merlo Construction Law	MER001	Legal Fees
Canon	CAN001	Printers
Kumho	TYR001	Motor Vehicle Service & Repairs
Martin Worth Mowing	SUNDRY	Garden Maintenance
NECA	NEC001	Labour Hire
Neca Trade Services	NEC003	Uniforms
Netrent	NET005	Rent
Netsip	NET006	Fax to email/number hosting
Office Supplies	OFF001	Stationery
Over the Wire	OVE001	Internet
QLD Transport	QUE004/Q	Vehicle Registration
Shred-It	SHR001	Destruction bin
Afirm Accounting	AFI001	Accounting Fees
Snap Printing	SNA001	Order/amendment books
Solutions Connect	SOL003	Arrow support
Supagas	SUP007	Gas bottles
Swiped On	VIS002	Sign In App
TAA Connect	TAA001	Phone cases/Screen Protectors
Telstra	TEL001	Non-recharge accounts
WorkPac	WOR004/V	Labour Hire

Site Overheads		
Creditor	Code	Service Provided
Retention	REN001	Retention held
Linkt	QUE002	Toll Recharge
Fuelmax	INT001	Fuel recharge
Telstra	TEL001	Mobile phone recharge
Site Amenities	SUNDRY	Lunch room, bathroom ect
Journals	JOU003	Miscellaneous fees

Hutchinson Builders

Co. Ref Letter No: BLUSTA001

16 July 2020

To: John Smith

From: Tim Cooper

Tender Notice: Burleigh State School - 19045

We are pleased to present our proposal for your review against Tender Notice 19045.

We have studied the tender and now have a better understanding of the D&C Electrical package requirements.

Estimate total - \$6,546,000.00

As one of the leading electrical contracting contractors in Australia for the last ten years, we have completed a number of high-profile construction projects and achieved great success. Blue Star has been at the forefront in execution of a wide array of construction projects for commercial, government, and industrial.

Please find attached a breakdown of the final estimate for the Burleigh State School project including our conditions and discrepancies.

Thank you for the opportunity to participate in this tender. If you have any questions, please don't hesitate to get in contact with me directly.

Sincerely,

John Smith - Estimating Manager

