

S I T E D E S C R I P T I O N

19 Mooloolah Court, Hillcrest QLD 4118
Lot 122 on RP858032
SITE AREA: 179sqm

PROPOSED: Ground level Extension to a Single Detached House: Convert Class 10a Garage to Class 1a Bedroom and Bathroom; plus Small extension under existing eaves for new bathroom:

- New Concrete Slab
 - New Timber Frame
 - New Fibre-cement cladding
- Not part of this approval. Repairs & maintenance only.

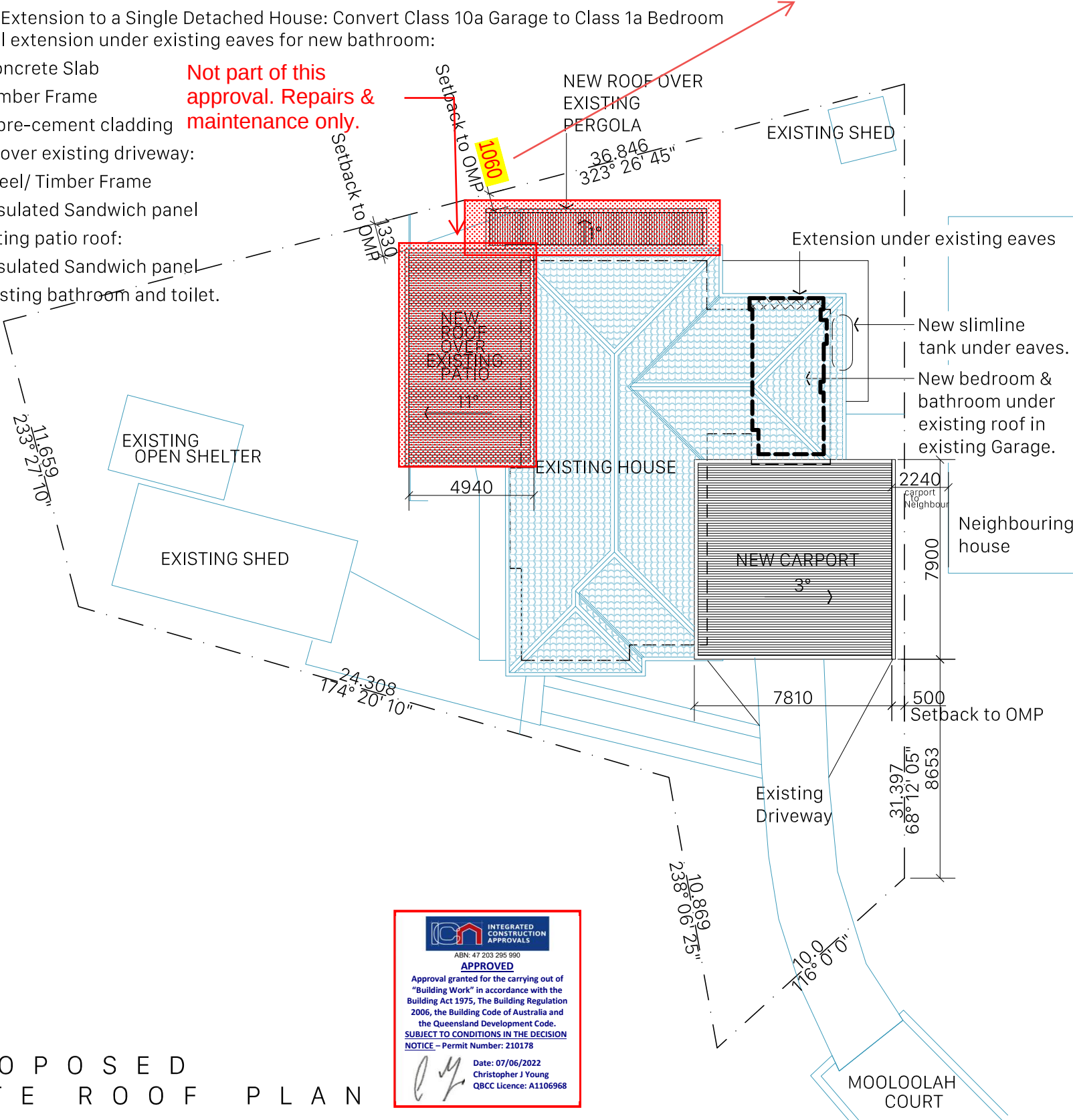
PROPOSED: New Carport over existing driveway:

- New Steel/ Timber Frame
- New Insulated Sandwich panel

PROPOSED: Replace existing patio roof:

- New Insulated Sandwich panel

PROPOSED: Renovate Existing bathroom and toilet.



AMMENDED MEASURMENT
PHOTO EVIDENCE ATTACHED

N O T E S

All works are to be carried out in accordance with Local Council requirements and the current amendments of the National Construction Code of Australia for the noted building classification. All works to be carried out in accordance with the relevant Australian Standards and manufacturers documentation appropriate to the material used and the installation of same.

If there is a discrepancy between the drawings and the requirements of the Australian Standards or NCC, it must be flagged and resolved prior to work taking place.

All works to be carried out by qualified, competent and Licensed contractors.

Check all dimensions and setout including nominated levels on site. Site boundary, and site features shown on drawings are extracted from information supplied by others . On site identification of boundary by a registered surveyor required where critical to setback compliance. On site review of site features required to ensure there are no conflicts with proposed works. Site levels have been determined from site information supplied by others. All levels, steps, and heights to be checked on site.

Underground services are to be located prior to excavation.

Refer to separate Structural Engineers drawings for all Structural design, bracing, tie-down, member sizes, and footing design.

All New Steel work to be galvanised or sealed with suitable protective paint coating. All steel member sizes, welding technique, fixings and connection details are to be carried out in accordance with a specification by a structural engineer. All pre-finished steelwork is to be protected during transport and installation so as not to damage the galvanising or finished coating.

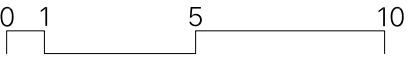
All new timber to be suitably durable for external use.
All fixings to be stainless steel or hot dipped galvanised.

TERMITE CONTROL to be installed to manufacturers specification and to comply with AS3660 (Australian Standard) & the requirements set-out in the NCC.

All roof water & collected ground surface runoff to connected to existing drainage in accordance with council requirements.

These drawings must be read in conjunction with Engineering and Services Consultant plans. Any conflict between drawings should be flagged and resolved with Architect and relevant consultant.

If in doubt contact: Tim Woodfield Architect ph. 0409 635 964



P R O P O S E D
S I T E R O O F P L A N



CLIENT: J & K S C H E S K I E	ISSUE: A B DESCRIPTION: PRELIMINARY CONCEPT DESIGN FOR DISCUSSION REVISED CONCEPT BASED ON CLIENT FEEDBACK DATE: 20.08.21 17.09.21	PROJECT TITLE: PROPOSED HOME EXTENSION & CARPORT PROJECT ADDRESS: 19 MOOLOOLAH CT, HILLCREST QLD LOT 122 on RP858032	 TIM WOODFIELD ARCHITECT DISTINCTIVE & CONSIDERED SPACES m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au
JOB #: 0 8 9		DRAWING #: 0 8 9 _ 0 _ 0 1 _ B	

©tim woodfield architect. ABN 73 711 704 838
All rights reserved. This work is copyright protected & cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

SA New interlinked 240/9V Smoke Alarm to be installed in accordance with NCC Part 3.7.5 & to comply with AS3786-2014 & Part 3A of the Building Regulation 2006

Not part of this approval. Repairs & maintenance only.

New Insulated sandwich panel roof over to replace existing pergola. Keep existing columns. Replace verandah beam and cantilever out to square-off corner. Structural Engineer to assess suitability of existing columns.

New Insulated sandwich panel roof over to replace existing roof over existing patio. Keep existing columns and verandah beam. Structural Engineer to assess suitability of existing structure. Refer Engineer's details for structure; refer manufacturer details for roof cladding.

New front door to client selection

Add select privacy frosted film to existing bathroom window.
Renovated bathroom to detail.

N.B. Typical: inspect existing ceiling & re-screw plasterboard where required. Patch & refinish to match existing ceiling. Add expansion joint in hallway where cracking is evident.

New pop-out for Ensuite under existing eaves. Concrete slab tied to existing slab to Engineer's details. Stud framing with lightweight cladding. R2.5 wall insulation batts in studwork

New Pathway slab extension

New Ensuite bathroom to detail.

New water tank to client selection.

Existing Garage re-purposed for new bedroom. Requires floor topping to raise floor to existing internal level. Top with concrete slab to engineer's specification. Fully line existing face brick walls with plasterboard on furring battens. Prep floor for new carpet.

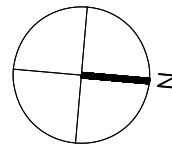
New brick sill to match adjacent windows using salvaged bricks. New window suite to match existing adjacent windows

New Batten screen to detail

New concrete path between existing driveway and existing house. Finish to client nomination.

Insulated sandwich panel carport roof over existing driveway. Nom: Bondor Solarspan TrimDek with "Elegance" grooved profile to underside ceiling. Colour: Surfmist. Install as per manufacturers installation details.

PROPOSED GROUND FLOOR PLAN



0 1 3 5

CLIENT:

J & K SCHESKIE

JOB #:

089

ISSUE:

DESCRIPTION:

A PRELIMINARY CONCEPT DESIGN FOR DISCUSSION
B REVISED CONCEPT BASED ON CLIENT FEEDBACK
C BA ISSUE

DATE:

20.08.21
17.09.21
27.09.21

PROJECT TITLE:

PROPOSED HOME EXTENSION & CARPORT

PROJECT ADDRESS:

19 MOOLOOLAH CT, HILLCREST QLD
LOT 122 on RP858032

DRAWING #:

089_1_01_C

SCALE:

1:100

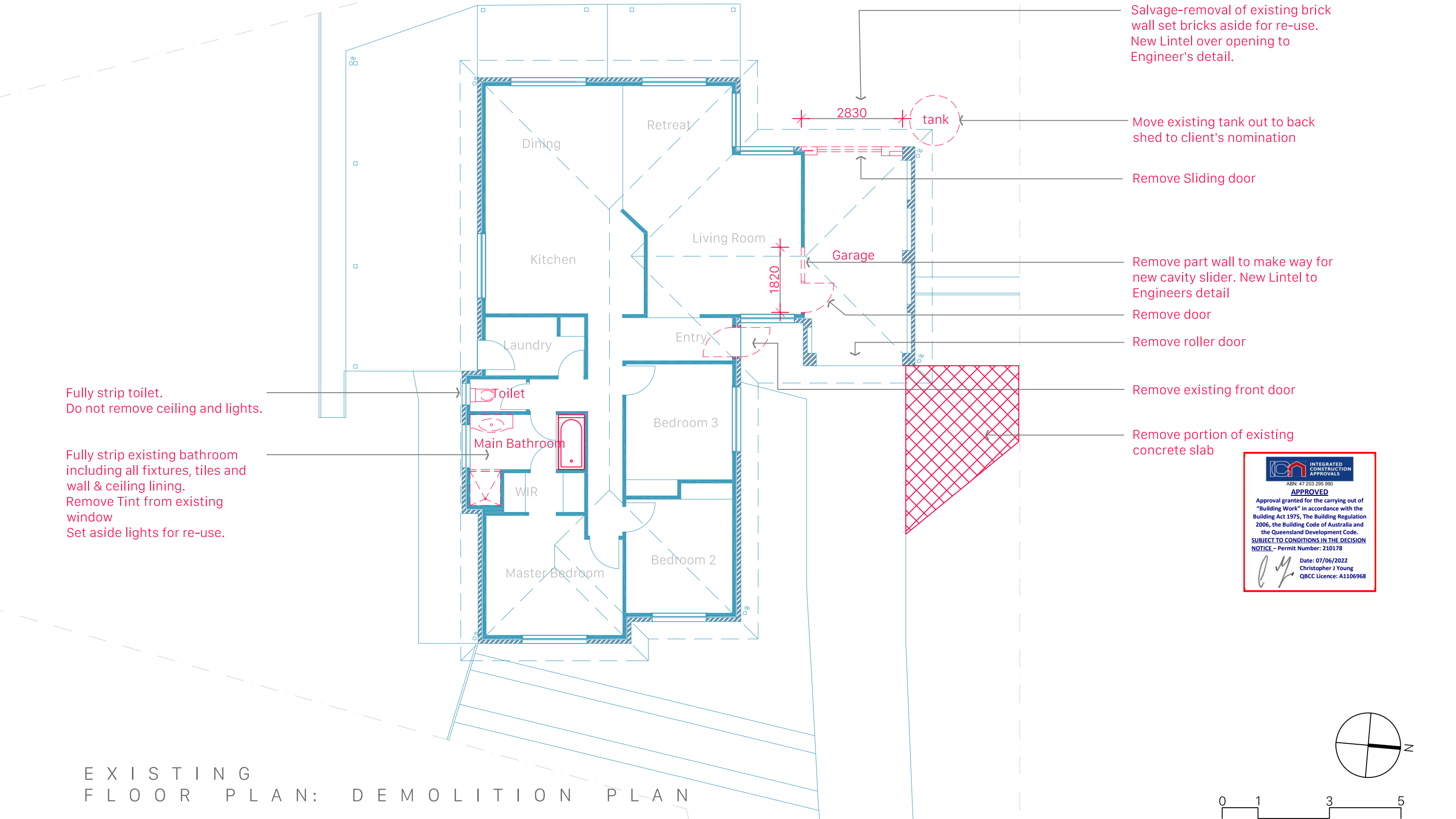


TIM WOODFIELD ARCHITECT

DISTINCTIVE & CONSIDERED SPACES

m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au

©tim woodfield architect. ABN 73 711 704 838
All rights reserved. This work is copyright protected & cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.



CLIENT:

J & K S C H E S K I E

JOB #:

0 8 9

ISSUE:

A

B

C

DESCRIPTION:

PRELIMINARY CONCEPT DESIGN FOR DISCUSSION

REVISED CONCEPT BASED ON CLIENT FEEDBACK

BA ISSUE

DATE:

20.08.21

17.09.21

27.09.21

PROJECT TITLE:

PROPOSED HOME EXTENSION & CARPORT

PROJECT ADDRESS:

19 MOOLOOLAH CT, HILLCREST QLD

LOT 122 on RP858032

DRAWING #:

0 8 9 _ 1 _ 0 2 _ C

SCALE:

1:100

TIM WOODFIELD ARCHITECT

DISTINCTIVE & CONSIDERED SPACES

m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au

@tim.woodfield.architect. ABN 73 711 704 838

All rights reserved. This work is copyright protected & cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

©tim woodfield architect. ABN 73 711 704 838
All rights reserved. This work is copyright protected and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

Boundary

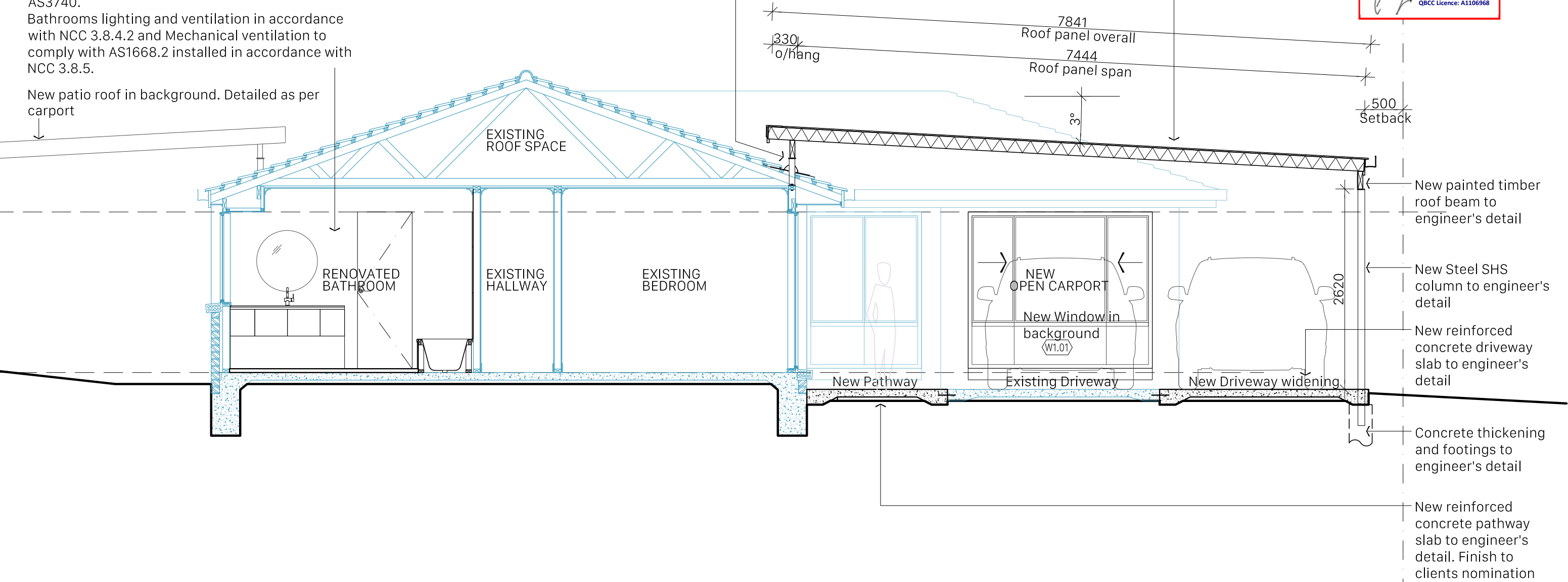
Fully renovate existing bathroom: fully strip back to Framing, remove flooring bed back to structural slab. New wall lining, new floor bed, new waterproofing, new tiles, new sanitary ware and tapware, new mirrors. Liaise with client for product selection and specification. Bathroom to be constructed in accordance with NCC 3.8.1 and AS3740.

Bathrooms lighting and ventilation in accordance with NCC 3.8.4.2 and Mechanical ventilation to comply with AS1668.2 installed in accordance with NCC 3.8.5.

New patio roof in background. Detailed as per carport

New SHS roof strut through existing roof. Extend down to structural wall below and connect to Engineer's detail. Decktight flashing. New painted timber roof beam to Engineer's detail

Fully insulated sandwich panel carport roof. Nom: Bondor Solarspan Trimdek, with "Elegance" grooved profile to underside ceiling. Colour: Surfmist. Install as per manufacturers installation details.



SECTION A : A

CLIENT:

J & K S C H E S K I E

JOB #:

0 8 9

ISSUE:	DESCRIPTION:	DATE:
A	PRELIMINARY CONCEPT DESIGN FOR DISCUSSION	20.08.21
B	REVISED CONCEPT BASED ON CLIENT FEEDBACK	17.09.21

PROJECT TITLE:

PROPOSED HOME EXTENSION & CARPORT

PROJECT ADDRESS:

19 MOOLOOLAH CT, HILLCREST QLD
LOT 122 on RP858032

DRAWING #:

0 8 9 _ 2 _ 0 2 _ B

SCALE:

1:50



TIM WOODFIELD ARCHITECT

DISTINCTIVE & CONSIDERED SPACES

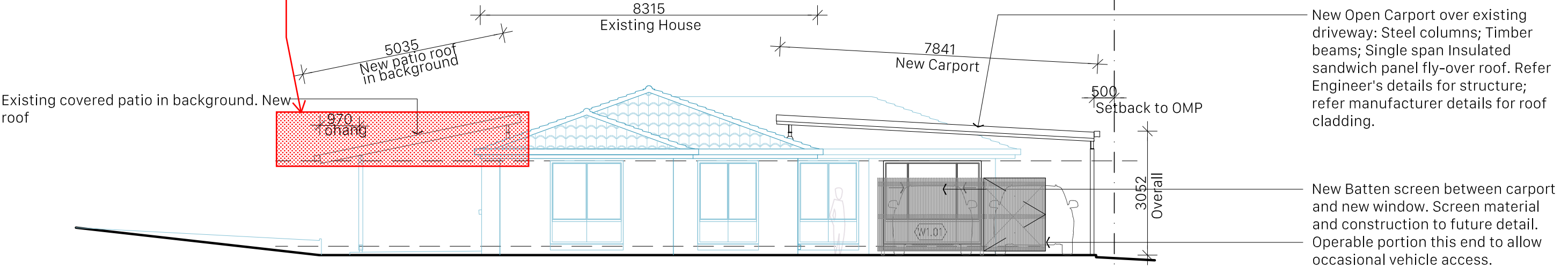
m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au

@tim.woodfield.architect. ABN 73 711 704 838

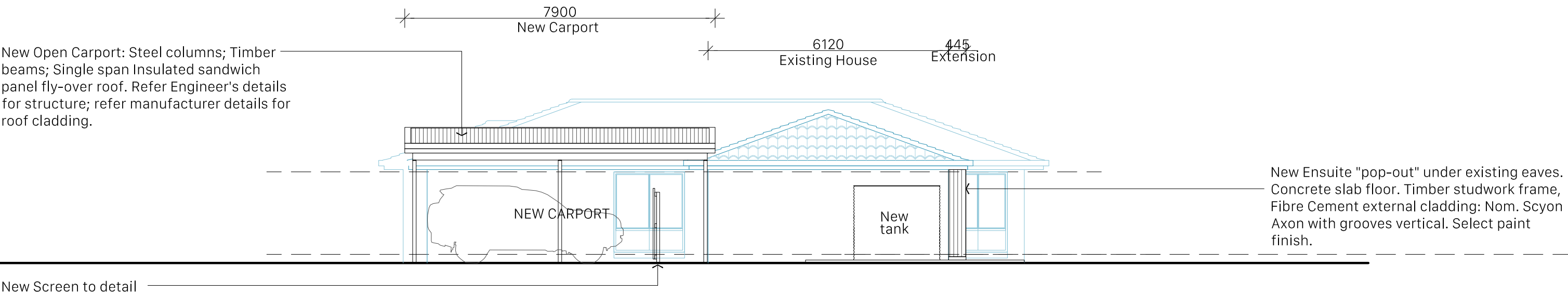
All rights reserved. This work is copyright protected & cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

©tim woodfield architect. ABN 73 711 704 838
All rights reserved. This work is copyright protected and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

Not part of this approval. Repairs & maintenance only.



PROPOSED
EAST (FRONT) ELEVATION



PROPOSED
NORTH ELEVATION

CLIENT:

J & K S C H E S K I E

JOB #:

0 8 9

ISSUE:

A
B

DESCRIPTION:

PRELIMINARY CONCEPT DESIGN FOR DISCUSSION
REVISED CONCEPT BASED ON CLIENT FEEDBACK

DATE:

20.08.21
17.09.21

PROJECT TITLE:

PROPOSED HOME EXTENSION & CARPORT

PROJECT ADDRESS:

19 MOOLOOLAH CT, HILLCREST QLD
LOT 122 on RP858032

DRAWING #:

0 8 9 _ 3 _ 0 1 _ B

SCALE:

1:100



TIM WOODFIELD ARCHITECT

DISTINCTIVE & CONSIDERED SPACES

m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au

©tim woodfield architect. ABN 73 711 704 838

All rights reserved. This work is copyright protected and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

New Insulated sandwich panel roof to replace existing roof over existing pergola. Keep the existing columns if deemed suitable by Engineer. New verandah beam and small sandwich panel roof spanning from fascia to new beam. Structural Engineer to assess suitability of existing structure. cantilever out to cover corner

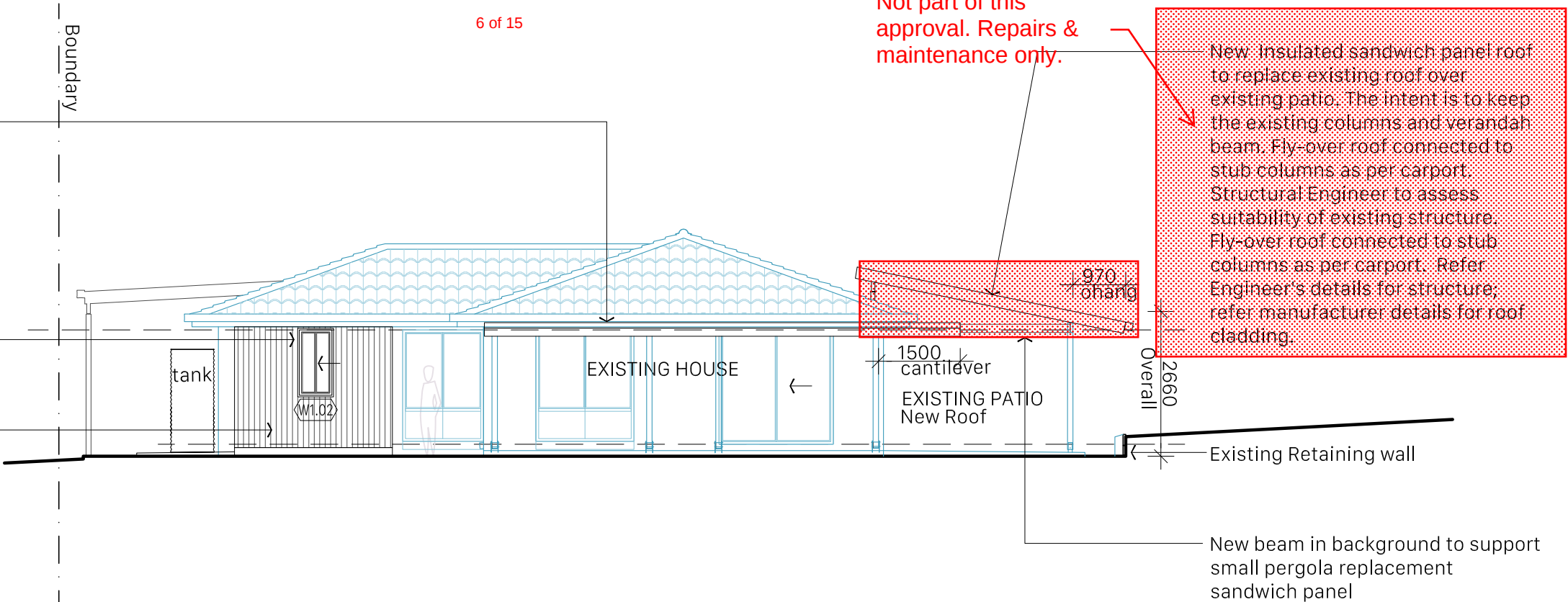
New aluminium framed sliding window. Style and Powdercoated Frame to match existing.

New Ensuite "pop-out" under existing eaves. Concrete slab floor. Timber studwork frame, Fibre Cement external cladding: Nom. Scyon Axon with grooves vertical. Select paint finish.

PROPOSED
WEST ELEVATION

New Insulated sandwich panel roof to replace existing roof over existing patio. The intent is to keep the existing columns and verandah beam. Fly-over roof connected to stub columns as per carport. Structural Engineer to assess suitability of existing structure. Fly-over roof connected to stub columns as per carport. Refer Engineer's details for structure; refer manufacturer details for roof cladding.

New Insulated sandwich panel roof to replace existing roof over existing pergola. small panel spanning from fascia to new verandah beam mounted on existing columns if determined suitable by Engineer.



Not part of this
approval. Repairs &
maintenance only.



PROPOSED
SOUTH ELEVATION

CLIENT: J & K S C H E S K I E	ISSUE: A B DESCRIPTION: PRELIMINARY CONCEPT DESIGN FOR DISCUSSION REVISED CONCEPT BASED ON CLIENT FEEDBACK DATE: 20.08.21 17.09.21	PROJECT TITLE: PROPOSED HOME EXTENSION & CARPORT PROJECT ADDRESS: 19 MOOLOOLAH CT, HILLCREST QLD LOT 122 on RP858032	 TIM WOODFIELD ARCHITECT DISTINCTIVE & CONSIDERED SPACES m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au
JOB #: 0 8 9		DRAWING #: 0 8 9 _ 3 _ 0 2 _ B	

©tim woodfield architect. ABN 73 711 704 838
All rights reserved. This work is copyright protected and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

DOOR SCHEDULE D1.00 VIEWED FROM OUTSIDE LOCATION. Flashings to openings must be installed as required under the NCC & AS1562

No.	LOCATION	SIZE (WxH)	DOOR DESCRIPTION		FINISH	REVEAL/JAMB	GLAZING	LOCK & FURNITURE	HARDWARE & OPTIONS
D1.01	ENTRY	820x2100 (check)	New solid core timber Entrance suite. Confirm door style with client.		Confirm entrance door style with client.	Timber/ brick. Painted Timber jamb.	Confirm glazing with client	Select Entrance Handle. SSS Night latch.	4 x SS hinges. Select security flyscreen. Style TBC with client
D1.02	NEW BEDROOM	820x2100	Redicote Solid Core Flush Panel. Select Paint finish.		Pre-primed & finished with Dulux Aquanamel: colour TBA	Timber. Painted Dulux Aquanamel: Colour TBA	nil	Flush pull & end pull: TBA	Nom. Cavity Sliders CS Slim slider 70mm
D1.03	NEW ENSUITE	820x2100	Redicote Solid Core Flush Panel. Select Paint finish.		Pre-primed & finished with Dulux Aquanamel: colour TBA	Timber. Painted Dulux Aquanamel: Colour TBA	nil	Flush pull & end pull: TBA	Nom. Cavity Sliders CS Slim slider 70mm



WINDOW SCHEDULE W1.00 Check all sizes on site. Windows shall be G.James compliant with AS2047, glazed in accordance with AS1288 and installed to the manufacturers recommendations and details. All surface finishing shall be in accordance with AS1231 (Anodising) and/or AS3715 (Powder Coating). Scheduled is an indication of intent. Glazier to implement best practice and provide glazing and framing to meet the requirements of the installation. Flashings to window openings must be installed as required under NCC requirements & AS1562 0-fixed →-sliding direction >-hinged swing

No.	LOCATION	SIZE (WxH)	SILL	FRAME & FINISH	REVEAL	DESCRIPTION	GLAZING	HARDWARE & OPTIONS
W1.01	NEW BEDROOM	2410x2040	60 check to existing	Aluminium Sliding window. Powdercoat Colour to match existing house.	Painted timber reveal in Studwork	Aluminium sliding window XOX; over 000. with aluminium FLY screen. →0← 000	Single Glaze Clear	Standard By Supplier. Diamond grill security screen to match existing.
W1.02	NEW ENSUITE	600x1200	900	Aluminium Sliding window. Powdercoat Colour to match existing house.	Painted timber reveal in Studwork	Aluminium sliding window OX; with SS security screen. 0←	Single Glaze Clear	Standard By Supplier. Diamond grill security screen to match existing.

CLIENT:

J & K S C H E S K I E

JOB #:

0 8 9

ISSUE:

A

DESCRIPTION:

PRELIMINARY SCHEDULE FOR DISCUSSION

DATE:

17.09.21

PROJECT TITLE:

PROPOSED HOME EXTENSION & CARPORT

PROJECT ADDRESS:

19 MOOLOOLAH CT, HILLCREST QLD
LOT 122 on RP858032

DRAWING #:

0 8 9 _ 7 _ 0 1 _ A

SCALE:

N.T.S

TIM WOODFIELD ARCHITECT
DISTINCTIVE & CONSIDERED SPACES
m: 0409 635 964 e: tim@timwoodfieldarchitect.com.au

©tim woodfield architect. ABN 73 711 704 838
All rights reserved. This work is copyright protected & cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written permission of the Principal under the terms of contract. Any licence, express or implied, to use the document for any purpose whatsoever is restricted to terms of agreement or implied agreement with the Principal under terms of contract.

NGS

Structural Engineers



PROJECT NUMBER

B001184

SITE ADDRESS

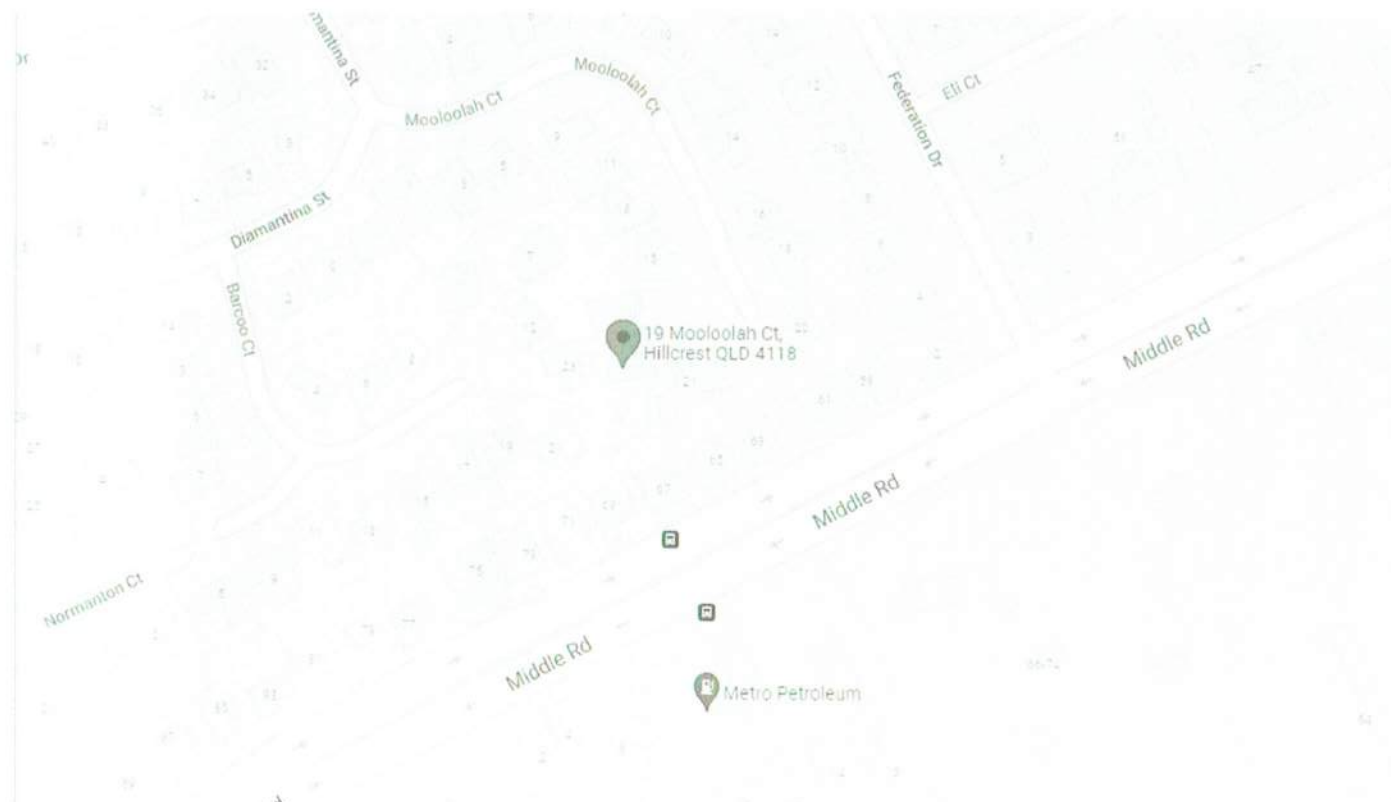
NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118

CLIENT

JAMIE & KALEN SCHESKIE

ARCHITECT

TIM WOODFIELD ARCHITECTS



Brisbane

07 3123 9862

Gold Coast

07 5580 8809

design@ngsengineers.com.au

NGSENGINEERS.COM.AU

GENERAL (REFERENCE -GN)

- ALL DRAWINGS IN THIS SET TO BE REGARDED AS PRELIMINARY UNLESS SIGNED AS APPROVED IN TITLE BLOCK.
- ENGINEER TO BE GIVEN 24 HOURS MINIMUM NOTICE OF ALL SITE INSPECTIONS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. THE ENGINEER'S DRAWINGS SHALL NOT BE SCALED.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH RELEVANT CURRENT S.A.A. CODES & B.C.A. (INCLUDING ALL AMENDMENTS) LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- BUILDING ELEMENTS LIKELY TO BE DAMAGED BY DEFLECTION ARE NOT TO BE ERECTED ON SUSPENDED CONCRETE UNTIL ALL PROPPING HAS BEEN REMOVED.
- ALL NON LOADBEARING WALLS SHALL BE KEPT CLEAR OF THE UNDERSIDE OF SLABS AND BEAMS BY 12mm UNLESS OTHERWISE SHOWN AND IF REQUIRED, FIXED TO UNDERSIDE OF SLABS OR BEAMS BY APPROVED MEANS.
- ALL LOADBEARING ELEMENTS UNDER ARE SHOWN SHADED.
- OTHER THAN FOR THE PURPOSES AND SUBJECT TO THE CONDITIONS PRESCRIBED UNDER THE COPYRIGHT ACT, NO PART OF THESE DRAWINGS MAY IN ANY FORM OF BY ANY MEANS (ELECTRONIC, MECHANICAL, MICROCOPYING, PHOTOCOPYING, RECORDING OR OTHERWISE) BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED WITHOUT PRIOR WRITTEN PERMISSION.

FOUNDATIONS AND FOOTINGS (REFERENCE -FAF)

- FOUNDATION MATERIAL TO BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT

R-13161 BY APOD SOIL TESTING PTY LTD DATED 21 OCTOBER 2021
- ALL FOOTINGS AND THEIR SUPPORTS SHALL BE FOUNDED A MINIMUM OF 300mm INTO NATURAL SILTY CLAY

H1 CLASS CONDITIONS.

SHOULD THE DEPTH OF THIS MATERIAL EXCEED THE FOOTING DEPTH THEN MASS CONCRETE BULK PIERS WILL BE REQUIRED. THIS OFFICE IS TO CONFIRM THE SIZE, LOCATION & DEPTH OF SUCH PIERS.
- ALL FOOTINGS & THEIR SUPPORTS SHALL BE FOUNDED A MINIMUM OF 300mm INTO UNDISTURBED CONTROLLED FILL. FOOTING EXCAVATION IS TO BE INSPECTED BY THE GEOTECHNICAL ENGINEER TO CONFIRM DESIGN BEARING CAPACITIES.
- SLABS ON GROUND SHALL HAVE ALL TOPSOIL AND UPPER STRATA CONTAINING ORGANIC MATTER REMOVED AND REPLACED WITH AN APPROVED MATERIAL COMPACTED TO 90% MODIFIED A.A.S.H.O. OR ITS EQUIVALENT.
- SPECIFIED DESIGN BEARING PRESSURES SHALL BE CONFIRMED BY THE SOILS CONSULTANT AND VERIFIED BY THE ENGINEER PRIOR TO CONCRETE PLACEMENT.
- ALL PIER HOLES TO BE CLEANED OF ALL LOOSE & FOREIGN MATERIAL (INCLUDING WATER) PRIOR TO ENGINEER'S INSPECTION AND AGAIN IMMEDIATELY PRIOR TO CONCRETE PLACEMENT.
- ALL REINFORCEMENT TO BE SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED PLASTIC BAR CHAIRS, SPACERS OR SUPPORT BARS.
- ALL STARTER BARS TO BE TIED IN PLACE PRIOR TO ENGINEER'S INSPECTION.
- ALL EARTHWORKS UNDERTAKEN ARE TO BE CONDUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT NOTED IN THE ABOVE NOTE FAF-1

SLAB ON GROUND (REFERENCE -SOG)

- SLAB TO BE 100mm THICK THROUGHOUT (UNLESS NOTED OTHERWISE ON PLANS OR SECTIONS) PLACED ON VAPOUR BARRIER AND 50mm LEVELLING SAND.
- SLABS TO BE REINFORCED WITH SL82 FABRIC TOP THROUGHOUT (UNLESS NOTED OTHERWISE ON PLANS OR SECTIONS) LAPPED 2 CROSS WIRES + 50mm AS REQUIRED. EXTRA REINFORCEMENT TO BE PROVIDED AS NOTED ON PLANS OR SECTIONS. ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED ON BAR CHAIRS.
- JOINTS SJ TO BE 3 WIDE X 25 DEEP SAWCUTS WITHIN 24 HOURS OF CONCRETE PLACEMENT (GUT EVERY SECOND FABRIC WIRE 75mm EACH SIDE OF SAWCUT AND REMOVE).
- JOINTS KJ TO BE PREFORMED METAL KEY JOINTS, IE. 'TOBY KEY JOINTS' OR APPROVED EQUIVALENT TO SUIT SLAB DEPTHS THAT THEY ARE CAST INTO.
- DOWEL BARS IN JOINTS TO HAVE ENDS SAWCUT AND BURRS GROUND OFF.
- FOR RAMPS AND FALLS REFER ARCHITECT'S DRAWINGS. SLAB THICKNESSES NOTED ARE MINIMUM REQUIRED.
- ALLOW FOR CASTING IN ANCHOR BOLTS TO BRACING WALLS AND TIE DOWN RODS TO FIRST FLOOR OR ROOF FRAMING. ALTERNATIVELY TIE DOWN RODS TO BE CHEMSET INTO SLAB, PRIOR APPROVAL REQUIRED FROM ENGINEER.

REINFORCED CONCRETE (REFERENCE -RC)

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND RELEVANT CODES MENTIONED THEREIN.
- SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- WHERE FALLS IN SLABS OCCUR, THICKNESSES NOTED ARE MINIMUM REQUIRED.
- ALL STARTER BARS TO BE TIED IN PLACE PRIOR TO ENGINEER'S INSPECTION.
- CONCRETE SHALL BE SAMPLED, TESTED AND ASSESSED IN ACCORDANCE WITH AS 1379 FOR COMPLIANCE WITH THE SPECIFIED PARAMETERS CONTAINED WITHIN THE PROJECT DOCUMENTATION PREPARED BY THIS OFFICE
- NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL BY THE ENGINEER.
- CONSTRUCTION JOINTS (DENOTED C.J.) SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY THE ENGINEER.
- CONCRETE SHALL BE DESIGNED, COMPACTED, FINISHED SUCH AS TO MINIMISE THE RISK OF PLASTIC CRACKING. FRESHLY CAST CONCRETE SHALL BE PROTECTED FROM THE EFFECTS OF RAIN, RUNNING WATER, FREEZING, OR DRYING PRIOR TO HARDENING. CONCRETE SHALL BE PROTECTED FROM FREEZING OR DRYING DURING THE INITIAL CURING PERIOD.
- CURING SHALL COMMENCE AS SOON AS THE CONCRETE HAS HARDENED. CONCRETE SHALL BE CURED FOR A MINIMUM 7 DAYS AND ACHIEVED BY THE APPLICATION OF WATER TO, ACCELERATED CURING O, OR THE RETENTION OF WATER IN, THE FRESHLY CAST CONCRETE, AND SHALL COMMENCE AS SOON AS PRACTICAL AFTER THE FINISHING OF ANY UNFORMED SURFACES HAS BEEN COMPLETED. WHERE RETENTION OF WATER IN THE FRESH CONCRETE RELIES ON THE APPLICATION TO EXPOSED SURFACES OF SPRAYED MEMBRANE-FORMING CURING COMPOUNDS, THE COMPOUNDS USED SHALL COMPLY WITH AS 3799
- REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY AND NOT NECESSARILY SHOWN IN TRUE PROPORTION.
- SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE ENGINEER.
- WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS. PLASTIC BAR CHAIRS TO BE USED AT ALL EXTERNAL SOFFITS AND SIDES WITHIN 1km OF FORESHORE SEAWALL U.N.O.
- REINFORCEMENT IS TO BE SUPPLIED AND BENT IN ACCORDANCE WITH AS/NZS 4671 CURRENT EDITIONS AND AMENDMENTS. REINFORCEMENT IS DENOTED BY THE FOLLOWING SYMBOLS:

R - PLAIN ROUND BAR.
S - STRUCTURAL GRADE DEFORMED.
N - GRADE 500 N BAR.
F - WELDED WIRE FABRIC.
- FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3610.
- CONCRETE ADDITIVES SHALL NOT BE USED WITHOUT THE APPROVAL OF THE ENGINEER.

CONCRETE QUALITY SCHEDULE

ELEMENT	CONCRETE STRENGTH F'c
PIERS (UNREINFORCED)	25 MPa UNO.
PIERS (REINFORCED)	32 MPa UNO
FOOTINGS	25 MPa UNO.
SLAB ON GROUND	25 MPa UNO.
COLUMNS	40 MPa UNO.
WALLS	40 MPa UNO.
SUSPENDED SLABS	REFER SLAB PLANS

SLUMP = 100mm uno. MAX. AGG SIZE = 20mm uno.

CONCRETE COVER SCHEDULE

ELEMENT	INTERNAL	EXTERNAL
	BTM/TOP	BTM/TOP
PIERS	50mm UNO.	50mm UNO.
FOOTINGS	40mm UNO.	40mm UNO.
COLUMNS	40mm UNO.	40mm UNO.
WALLS	40mm UNO.	40mm UNO.
SLAB ON GROUND	20mm UNO/40mm UNO	40mm UNO./40mm UNO.
SUSPENDED SLABS	20mm UNO./20mm UNO.	40mm UNO./40mm UNO.

STRUCTURAL STEELWORK (REFERENCE -SS)

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100 AND RELEVANT CODES MENTIONED THEREIN.
- ALL STRUCTURAL SECTIONS FOR FABRICATION SHALL BE GRADE 250 STEEL U.N.O. ALL RECTANGULAR, SQUARE AND CIRCULAR HOLLOW SECTIONS SHALL BE GRADE 350 STEEL U.N.O.
- WELDING SHALL BE PERFORMED BY AN EXPERIENCED OPERATOR IN ACCORDANCE WITH AS1554.
- THE CONTRACTOR SHALL PROVIDE AND LEAVE IN PLACE UNTIL PERMANENT BRACING ELEMENTS ARE CONSTRUCTED SUCH TEMPORARY BRACING AS IS NECESSARY TO STABILISE THE STRUCTURE DURING ERECTION.
- CONCRETE ENCASED STEELWORK SHALL BE WRAPPED WITH FCW41 FABRIC UNLESS OTHERWISE SHOWN.
- BEFORE FABRICATION IS COMMENCED THE CONTRACTOR SHALL SUBMIT TWO COPIES OF THE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. REVIEW DOES NOT INCLUDE CHECKING OF DIMENSIONS.
- STEELWORK IS TO BE THOROUGHLY CLEANED OF MILL SCALE TO CLASS 2.5 FINISH. APPLY 75um OF AN APPROVED INORGANIC ZINC SILICATE PRIMER. FOR TOP COATS REFER TO ARCHITECTS DRAWINGS OR SPECIFICATION. STEELWORK TO BE ENCASED IN CONCRETE, CONNECTIONS TO BE FIELD WELDED AND CONTACT FACES IN FRICTION GRIP BOLTED CONNECTIONS SHALL NOT BE PAINTED.
- ALL EXPOSED STEEL AND STEEL BUILT INTO MASONRY SHALL BE HOT DIP GALVANISED IN ACCORDANCE WITH AS1650.
- UNLESS SHOWN OTHERWISE ALL
- PLATES TO BE 10mm THICK.
- PLATES TO HAVE BURRS AND SHARP EDGES GROUND SMOOTH.
- WELDS TO BE 6mm CONTINUOUS FILLET.
- FILLET WELD SIZES TO BE INCREASED BY THE SIZE OF FIT UP GAP.
- WELDS TO HAVE SPLATTER REMOVED.
- BOLTS TO BE M16-4.6s HOT DIPPED GALVANIZED.
- ALL DAMAGED PAINTWORK SHALL BE REPAIRED BY ABRADING AND REAPPLYING PRIMER AND FINISHED COATS TO ORIGINAL SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL, TIMBER AND OTHER MATERIALS TO STEEL REQUIRED TO SUPPORT ANY ARCHITECTURAL, STRUCTURAL OR OTHER ELEMENT.
- ALL WALL, ROOF AND ARCHITECTURAL CLADDING ELEMENTS MAY REQUIRE EDGE OR INTERMEDIATE SUPPORTS OR TRIMMERS BETWEEN STRUCTURAL MEMBERS.THESE SECONDARY MEMBERS MAY NOT BE DETAILED ON THE DRAWINGS AND SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. DETAILS SHALL BE SUBMITTED TO THE SUPERVISING OFFICER FOR APPROVAL.
- ALL ROD BRACING TO HAVE ONE END MINIMUM THREADED (WHERE POSSIBLE BOTH ENDS) & CONNECTING ROOF STRUCTURE DRILLED FOR 'D' CONNECTORS TO ALLOW FOR ON SITE TENSIONING.
- PROVIDE HOOK BOLTS FROM BRACING MEMBERS TO PURLINS PRIOR TO TENSIONING TO ELIMINATE BRACING SAG.

9 OF 15

STRUCTURAL TIMBER (REFERENCE - ST)

- ALL MATERIALS AND WORKMANSHIP SHALL BE TO AS1720, AS1684 AND OTHER RELEVANT CODES MENTIONED THEREIN.
- ALL EXTERNAL STRUCTURAL TIMBER COMPONENTS ARE TO BE OF CLASS 1 OR 2 AND ARE TO BE TREATED TO A H3 LEVEL MINIMUM.
- ALL TIMBER SHALL BE FREE OF GUM VEINS, POCKETS, KNOTS, KNOT HOLES OR SPLITS WITHIN 150mm OF ANY CONNECTION.
- WASHERS SHALL BE PROVIDED UNDER ALL NUT AND BOLT HEADS BEARING AGAINST TIMBER IN ACCORDANCE WITH THE FOLLOWING:

BOLT & WASHER SCHEDULE	
BOLT SIZE	WASHER
M10 BOLT	50 SQ. x 3.0 THICK
M2 BOLT	57 SQ. x 4.0 THICK
M16 BOLT	65 SQ. x 5.0 THICK
M20 BOLT	75 SQ. x 6.0 THICK
- ALL BOLTS SHALL BE ACCESSIBLE AND RETIGHTENED AT COMPLETION OF CONTRACT AND ALSO AT END OF MAINTENANCE PERIOD.
- IN HARDWOODS OR LOCATIONS SUBJECT TO SPLITTING, NAILS ARE TO BE INSTALLED IN PREDRILLED HOLES 80% OF NAIL DIAMETER.
- GALVANIZED BOLTS SHALL BE USED IN 2mm CLEARANCE HOLES. GREASE BOLTS BEFORE ASSEMBLY.

WIND LOADING (REFERENCE - WL)

- DESIGN WIND LOAD - N2
- ALL GLAZING/CLADDING IS TO BE DESIGNED AND CERTIFIED BY THE SUPPLIER TO RESIST LOADS PRODUCED BY THE ABOVE MENTIONED WIND SPEEDS. APPLICABLE LOCAL PRESSURE FACTORS ARE TO BE CONSIDERED NEAR BUILDING CORNERS AS SPECIFIED IN THE RELAVANT AUSTRALIAN STANDARDS.
 - AS1170.2 WIND ACTIONS FOR BUILDING HEIGHT > 8.5m
 - AS4055 WIND LOADS FOR HOUSING FOR BUILDING HEIGHT UP TO 8.5m

ROOF FRAMING (REFERENCE - RF)

- UNLESS NOTED OTHERWISE, FRAMING TO BE TIMBER ROOF TRUSSES AT 600 CTS TO ROOF TRUSS MANUFACTURERS SPECIFICATION AND DETAILS (INCLUDING ROOF BRACING, TIE DOWN AND LINTEL DETAILS WHERE GIRDER TRUSSES OCCUR DIRECTLY OVER OPENINGS.)
- ALL OTHER TIMBER ROOF FRAMING MEMBERS TO BE CONNECTED AND ANCHORED DOWN IN ACCORDANCE WITH THE RELEVANT AS1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION STANDARD TO ACHIEVE DESIGN WIND LOAD AS NOTE WB-2.
- TRUSS DESIGN DRAWINGS TO BE SUBMITTED TO ENGINEER PRIOR TO COMMENCEMENT OF FABRICATION.

DRAWING INDEX

SHEET NUMBER	SHEET NAME
S00	COVERSHEET
S01	GENERAL NOTES
S02	PLUMBING ARTICULATION DETAILS
S03	PLUMBING ARTICULATION DETAILS
S10	FOOTING & SLAB PLAN
S11	FOOTING & SLAB DETAILS
S20	ROOF FRAMING PLAN
S21	ROOF FRAMING DETAILS

NGS

Structural Engineers

Brisbane 07 3123 9862

Gold Coast 07 5580 8809

design@ngsengineers.com.au

NGSENGINEERS.COM.AU

REVISIONS

A FOR APPROVAL 09/11/2021



FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE

ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118

APPROVED


Neil Stebbing RPEQ 6683

DRAWING

GENERAL NOTES

SCALE DATE

AS SHOWN @ A3 09/11/2021

DESIGN DRAWN CHECKED

SC DR NS

PROJECT REFERENCE REVISION

B001184- S01 A

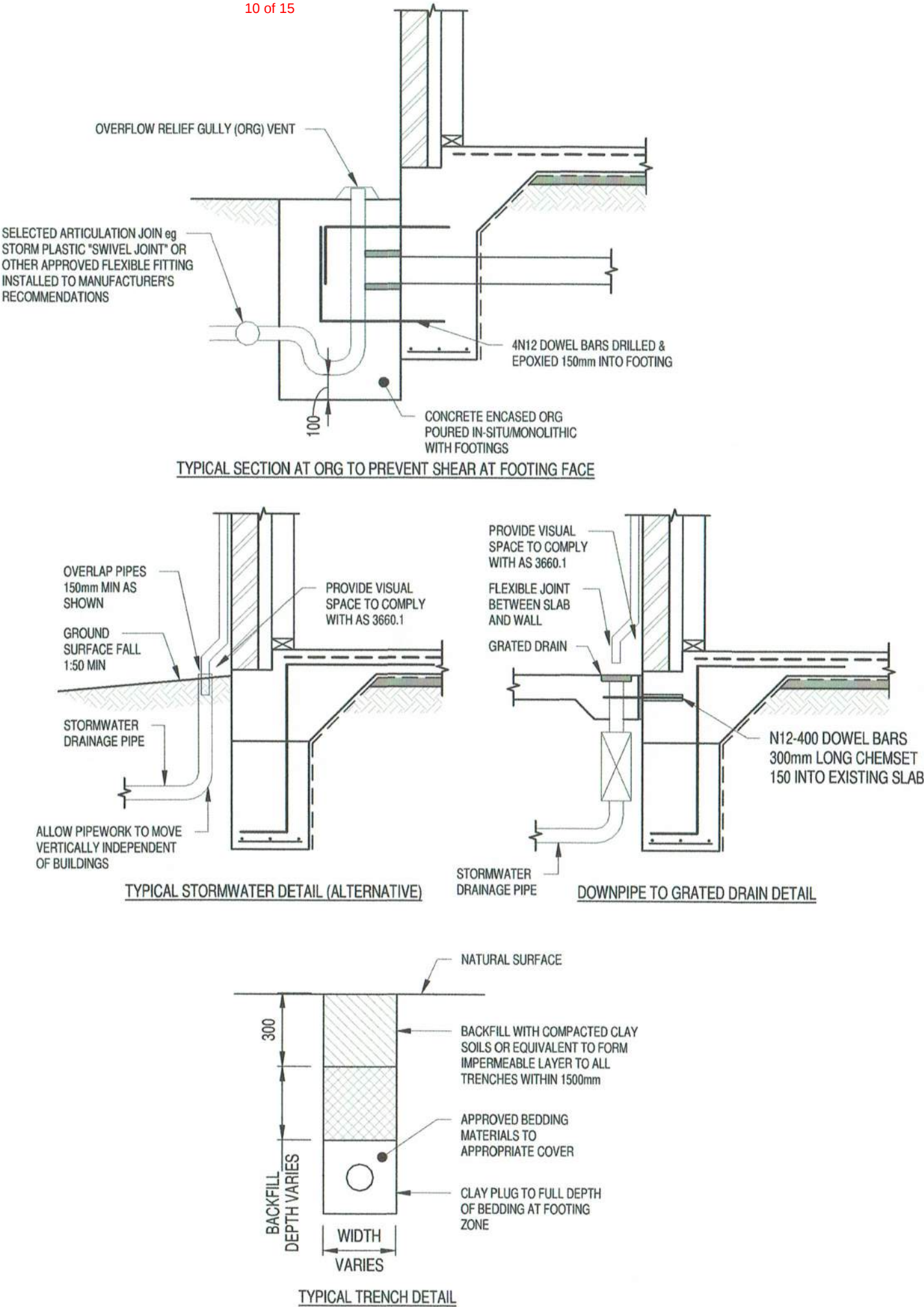
RECOMMENDED GUIDELINES FOR SANITARY AND STORMWATER
INSTALLATION ON REACTIVE CLAY SITES:

NOTES: THE FOLLOWING NOTES AND DETAILS PROVIDED ARE A GUIDE ONLY FOR ARTICULATION FOR SANITARY PLUMBING & DRAINAGE & SHOULD BE READ IN CONJUNCTION WITH AS/NZS 3500, AS 2870 AND ANY OTHER RELEVANT STANDARD AND OTHER REQUIREMENTS OF THE BSA.

1. ALL DRAINS INSTALLED IN GROUND THAT IS FILLED, UNSTABLE, EXPANSIVE (eg. M, H, E & P SITES), OR WATER CHARGED, AND WHERE SOIL MOVEMENT MAY AFFECT THE PERFORMANCE OF ANY DRAIN, A CERTIFIED PLAN AND SPECIFICATION SHOULD BE PROVIDED BY AN APPROPRIATELY QUALIFIED PERSON. A SOIL REPORT AND ALL CALCULATIONS SHOWING PROPOSED METHOD TO PROTECT THE DRAINAGE FROM POTENTIAL GROUND MOVEMENTS MAY BE REQUIRED.
2. ALL SEWER & STORMWATER TO BE CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500 AND THE REQUIREMENTS OF AS 2870 SECTION 5, CLAUSE 5.5 AND SECTION 6, CLAUSE 6.6. ARTICULATION AND EXPANSION JOINTS ARE TO BE PROVIDED TO ACCOMMODATE MOVEMENT IN ALL PIPEWORK WITHIN 3 METERS OF THE DWELLING AND COMPLY WITH AS 1260.
3. PLUMBING AND DRAINAGE UNDER THE SLAB SHOULD BE AVOIDED WHERE PRACTICAL (REFER AS/NZS 3500 CLAUSE 4.10).
4. GRADES IN PIPEWORK ON M, H, E & P SITES SHOULD HAVE A MINIMUM GRADE OF 1:30 WITHIN 3 METERS OF THE BUILDING AND 1:60 ELSEWHERE. GRADES IN FLEXIBLE FITTINGS TO BE SET AT THE MINIMUM GRADE.
5. ALL EXPANSION AND ARTICULATION JOINTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALL JOINTS TO BE SET MID POINT SO AS TO ALLOW FOR MAXIMUM IN EITHER DIRECTION.
6. STORMPLASTICS (SA) PTY LTD "SWIVEL JOINTS" SHOULD NOT BE USED AS A BEND TO ACHIEVE CORRECT FALLS. THE JOINTS SHOULD BE SET IN A STRAIGHT LINE OF THE DRAIN TO ALLOW MAXIMUM (+) OR (-) MOVEMENT. A MINIMUM 15° BEND TO BE INSTALLED BEFORE SWIVEL JOINTS TO ACHIEVE MINIMUM GRADES FROM THE FACE OF THE FOOTINGS.
7. DETAIL AND SUPPORT OF TRAPS AT THE ORG TO BE CONSIDERED ON-SITE TO ALLOW FOR POTENTIAL MOVEMENTS. THE ORG SHOULD BE CAST IN CONCRETE MONOLITHICALLY WITH THE FOOTING SYSTEM ON CLASS 'H' AND 'E' SITES.
8. ALL PVC PIPEWORK PASSING THROUGH CONCRETE MUST HAVE 25mm LAGGING.
9. STORMWATER SYSTEMS THAT COLLECT ROOF WATER AND SURFACE WATER ARE REQUIRED TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500 PART 5.
10. THE USE OF CORRUGATED FLEXIBLE PVC PIPE PRODUCTS SHOULD BE AVOIDED ON CLASS H & E SITES AS THEY ARE NOT ABLE TO EXPAND LONGITUDINALLY TO ACCOMMODATE POTENTIAL VERTICAL & LATERAL MOVEMENTS AT THE SLAB OR FOOTING EDGES UNLESS SPECIFICALLY DETAILED BY THE MANUFACTURER.
11. ALL JOINTS IN STORMWATER PIPES WITHIN 3 METERS OF THE HOUSE UNDER CONSTRUCTION SHOULD BE ARTICULATED TO ACCOMMODATE GROUND MOVEMENTS WITHOUT LEAKAGE.
12. SEPTIC TANKS AND ASSOCIATED SOAKAGE AREAS SHOULD BE LOCATED TO MINIMISE SOIL MOISTURE INCREASES WITHIN THE FOUNDATION. JOINTS IN PLUMBING PIPES WITHIN 3.0 METERS OF THE HOUSE UNDER CONSTRUCTION SHALL BE ARTICULATED TO ACCOMMODATE GROUND MOVEMENTS WITHOUT LEAKAGE. SEPTIC TANKS IN PARTICULAR REQUIRE CAREFUL DETAILING.
13. ALL PIPE WORK INCLUDING STORMWATER FITTINGS AND ADAPTERS SHOULD BE PROTECTED FROM MECHANICAL DAMAGE.
14. TERMITE PROTECTION NOT SHOWN ON THE DRAWINGS AS THERE ARE VARIOUS OPTIONS. REFER TO THE BUILDING DESIGNER.
15. ALL DETAILS ARE INDICATIVE ONLY. DESIGN OF THE PATHS, FOOTINGS, ETC AND LOCATION OF PENETRATIONS TO BE SPECIFIED BY THIS OFFICE.
16. PROVISIONS SHOULD BE MADE FOR THE CONNECTION OF OVERFLOW OR WATER DISCHARGE FROM FIXTURES SUCH AS HWS AND AC TO A DRAIN AS REQUIRED BY THE RELEVANT AUTHORITY.
17. EXPECTED MINIMUM REQUIREMENTS FOR EXPANSION AND ALLOWABLE RELATION FITTING AS FOLLOWS:

SITE CLASS	MINIMUM EXPANSION OF JOINTS	ALLOWABLE ROTATION
"E"	150mm	15°
"H"	70mm	15°
"P"	70mm PLUS ADDITIONAL REQUIREMENTS IN THE CASE OF FILL (MIN. DEPENDENT ON SITE CONDITION)	15°
"M"	MIN 25mm LAGGING THROUGH FOOTING	NOT APPLICABLE

10 of 15



NGS
Structural
Engineers

Brisbane 07 3123 9862

Gold Coast 07 5580 8809

design@ngsengineers.com.au

NGSENGINEERS.COM.AU

REVISIONS

A FOR APPROVAL

09/11/2021



ABN: 47 203 295 990

APPROVED

Approval granted for the carrying out of "Building Work" in accordance with the Building Act 1975, The Building Regulation 2006, the Building Code of Australia and the Queensland Development Code. SUBJECT TO CONDITIONS IN THE DECISION

NOTICE - Permit Number: 210178
Date: 07/06/2022
Christopher J Young
QBCC Licence: A1106968

FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE

ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118

APPROVED

N. Stebbing

Neil Stebbing RPEQ 6683

DRAWING

PLUMBING ARTICULATION
DETAILS

SCALE

DATE

AS SHOWN @ A3 09/11/2021

DESIGN

DRAWN

CHECKED

SC

DR

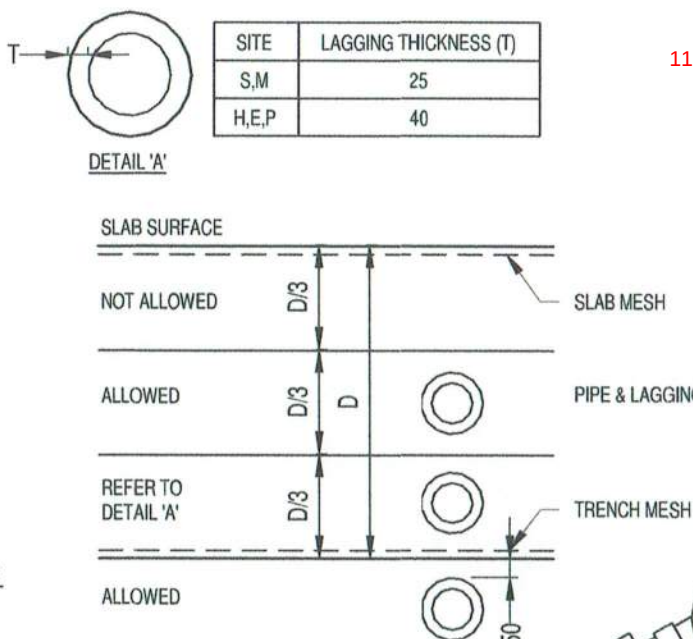
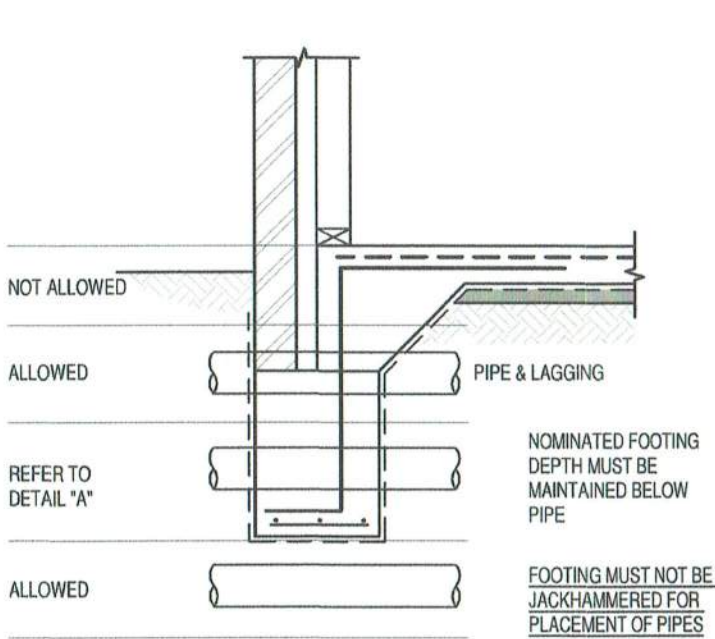
NS

PROJECT REFERENCE

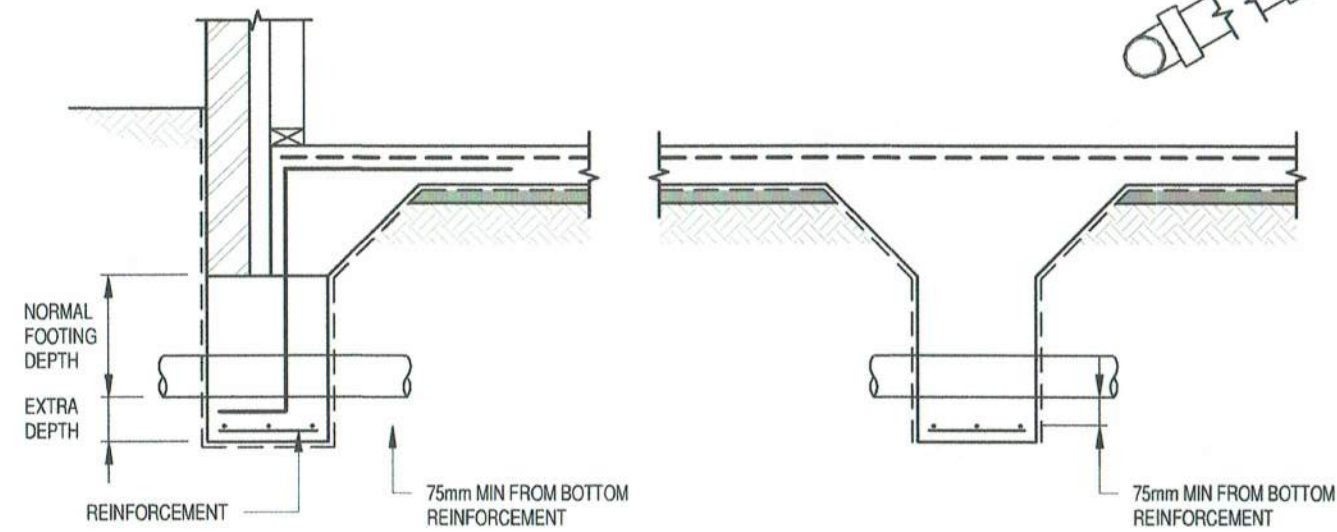
REVISION

B001184- S02

A

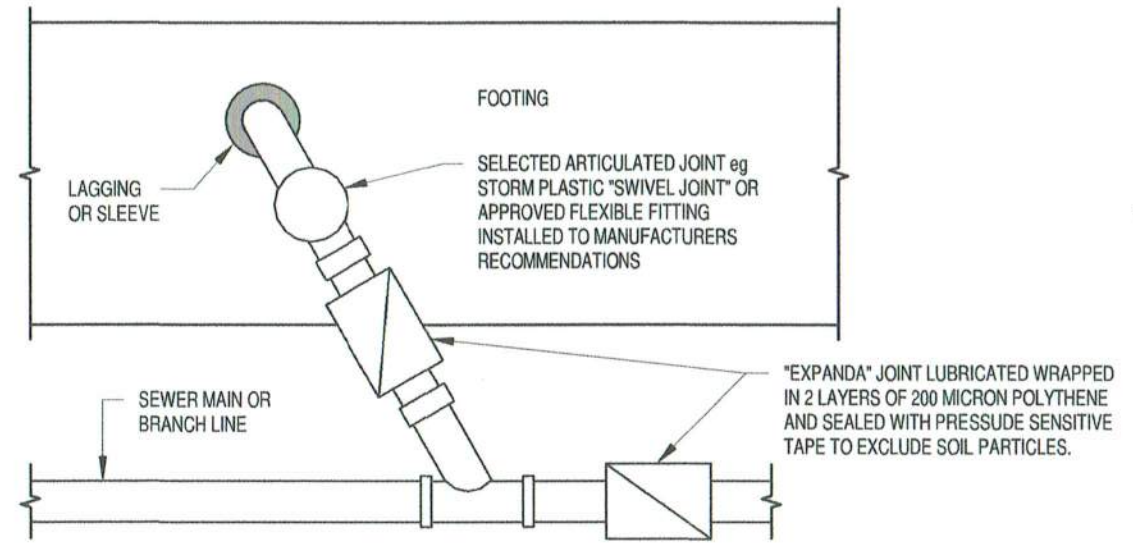


**SERVICE PENETRATIONS:
LOCATION OF SERVICE PENETRATIONS IN FOOTING AND SLAB**

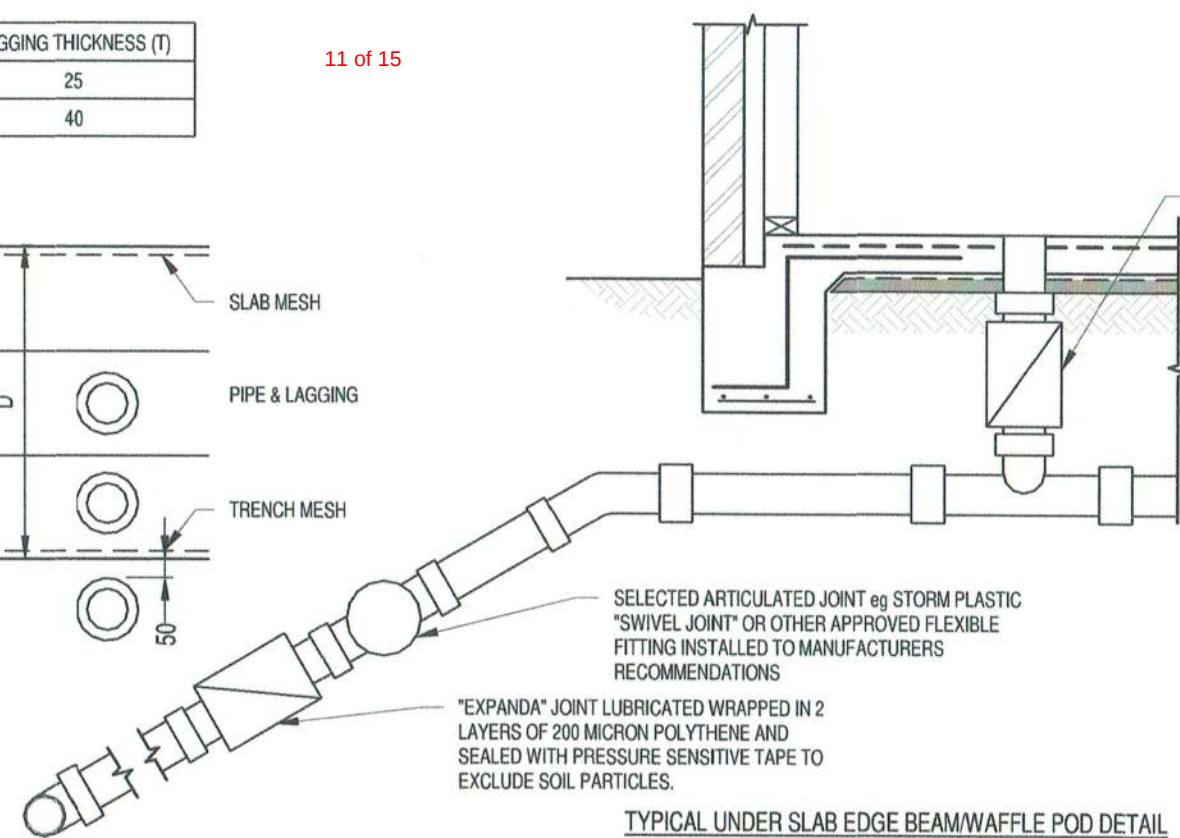


SERVICE PENETRATION THROUGH FOOTINGS AND THICKENINGS

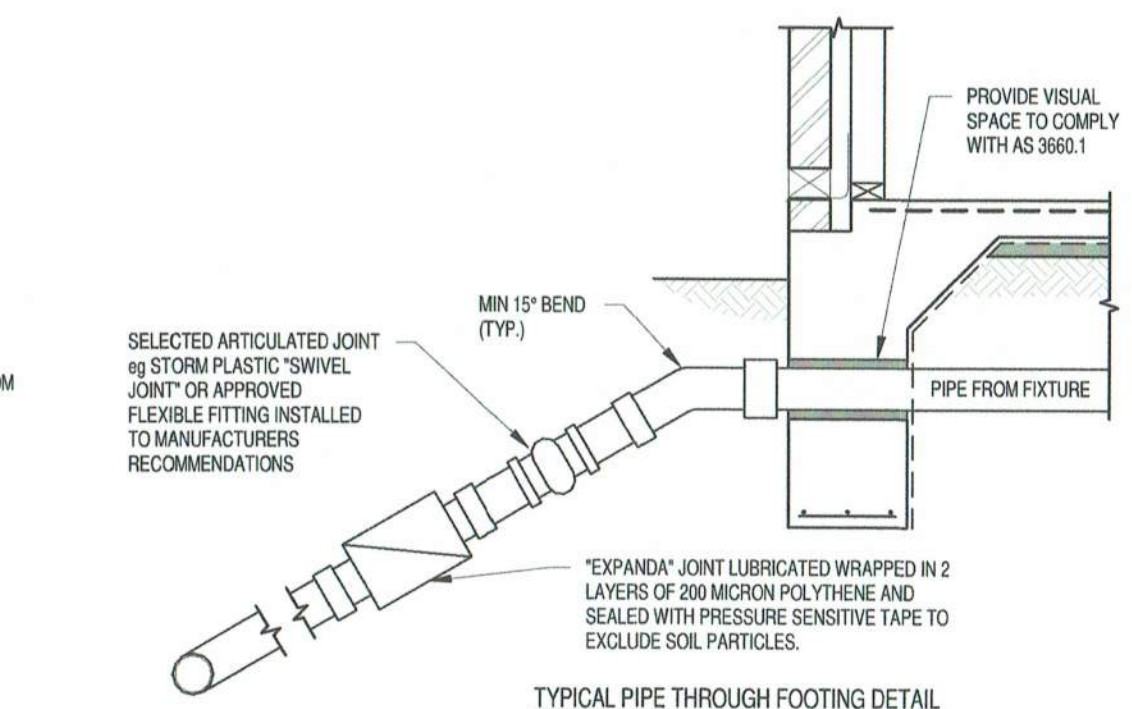
NOTE:
SPECIFIED FOOTING AND SLAB THICKENING DEPTH REQUIREMENTS MUST BE MAINTAINED WHERE SERVICE PIPE INTERFERES WITH COVER TO STEEL OR CONCRETE DEPTHS. THE FOOTING MUST BE LOCALLY DEEPEMED AS SHOWN. PARTICULAR ATTENTION SHOULD BE PAID TO THE PROVISION OF FLEXIBLE SERVICE CONNECTIONS AS DETAILED IN AS 3500 ON ALL CLASS "H" AND "E" SITES.



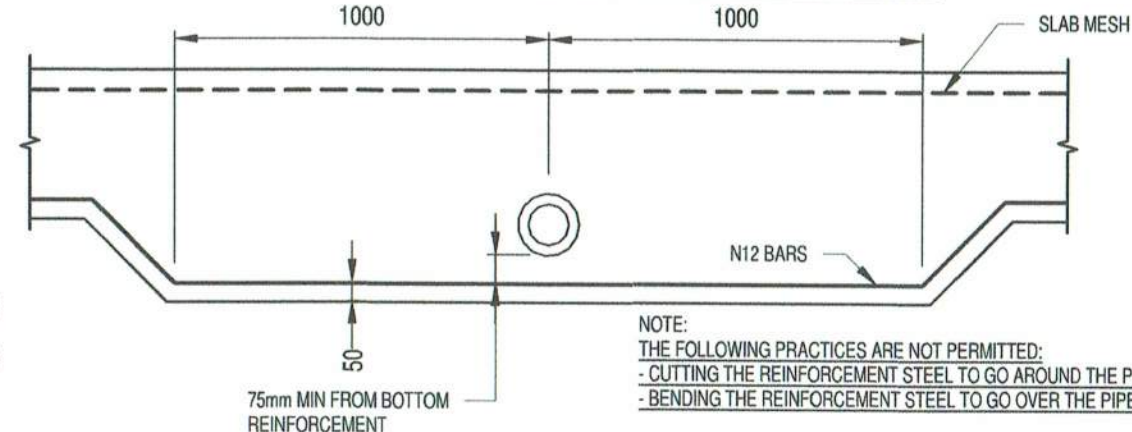
TYPICAL CONNECTION FROM PIPEWORK TO BRANCH LINE DETAIL



TYPICAL UNDER SLAB EDGE BEAM/WAFFLE POD DETAIL



TYPICAL PIPE THROUGH FOOTING DETAIL



NOTE:
THE FOLLOWING PRACTICES ARE NOT PERMITTED:
- CUTTING THE REINFORCEMENT STEEL TO GO AROUND THE PIPE.
- BENDING THE REINFORCEMENT STEEL TO GO OVER THE PIPE.

PLUMBING & DRAINAGE PIPES:
WHERE PIERS ARE USED TO SUPPORT A SLAB ON FILL PLUMBING AND DRAINAGE PIPES FOUNDING WITHIN SUCH FILL SLAB SHALL BE HUNG FROM THE SLAB MESH WITH NON-CORROSIVE STRAPS.

ICG INTEGRATED CONSTRUCTION APPROVALS
ABN: 47 203 295 990
APPROVED
Approval granted for the carrying out of "Building Work" in accordance with the Building Act 1975, The Building Regulation 2006, the Building Code of Australia and the Queensland Development Code. SUBJECT TO CONDITIONS IN THE DECISION NOTICE - Permit Number: 210178
Date: 07/06/2022
Christopher J Young
QBCC Licence: A1106968

FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE
ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

NO.19 MOOLOOLAH COURT, HILLCREST, QLD, 4118

APPROVED

N. Stebbing
Neil Stebbing RPEQ 6683

DRAWING
PLUMBING ARTICULATION DETAILS

SCALE DATE

AS SHOWN @ A3 09/11/2021

DESIGN DRAWN CHECKED

SC DR NS

PROJECT REFERENCE REVISION

B001184- S03 A

CONCRETE BORED PIER SCHEDULE		
MARK	SIZE	REINFORCEMENT
BP1	450mm DIA. SOCKET 300mm INTO NATURAL SILTY CLAY APPROX. 1500 DEEP	MASS CONCRETE

NGS
Structural
Engineers

Brisbane 07 3123 9862

Gold Coast 07 5580 8809

design@ngsengineers.com.au

NGSENGINEERS.COM.AU

REVISIONS

A | FOR APPROVAL

09/11/2021



ABN: 47 203 295 990
APPROVED

Approval granted for the carrying out of
"Building Work" in accordance with the
Building Act 1975, The Building Regulation
2006, the Building Code of Australia and
the Queensland Development Code.
SUBJECT TO CONDITIONS IN THE DECISION
NOTICE – Permit Number: 210178

02 Date: 07/06/2022
Christopher J Young
QBCC Licence: A1106968

FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE

ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118

APPROVED

 Neil Stebbing RPEQ 6683

DRAWING
FOOTING & SLAB PLAN

SCALE _____ DATE _____

AS SHOWN @ A3 09/11/2021

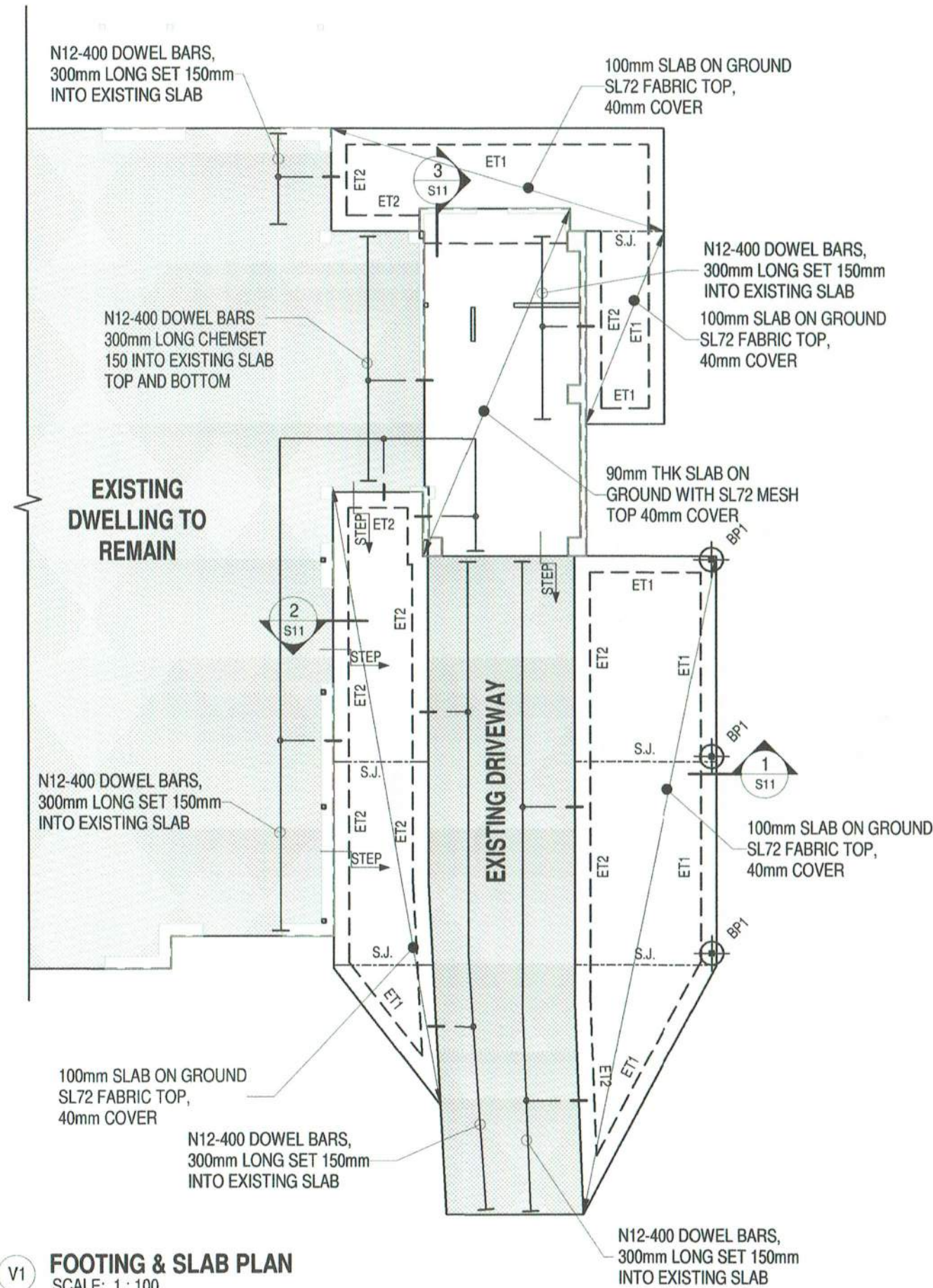
DESIGN	DRAWN	CHECKED
--------	-------	---------

SC DR NS

PROJECT REFERENCE _____ REVISION _____

B001184- S10

A

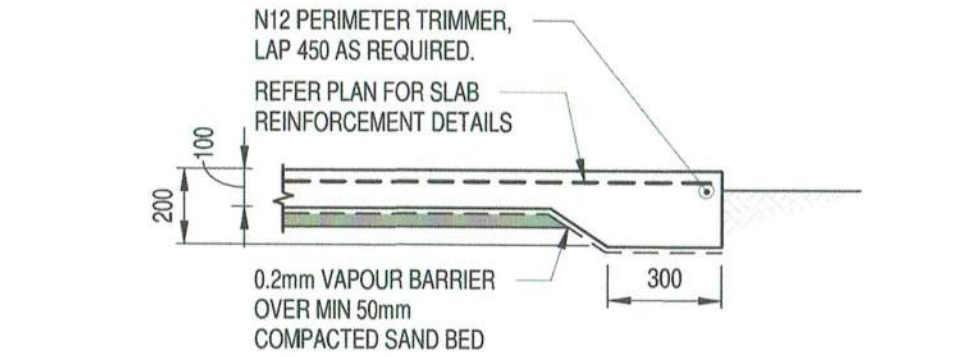


V1 FOOTING & SLAB PLAN

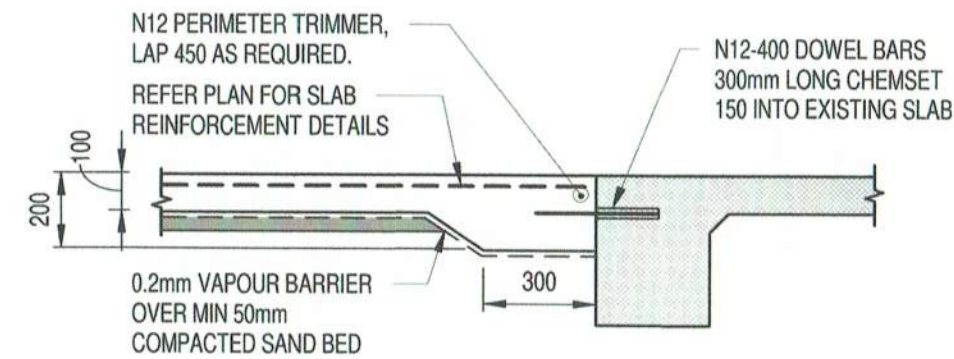
SCALE: 1 : 100

REFER TO ARCHITECTURAL PLAN FOR
LOCATION AND SET-OUT OF NEW WORKS

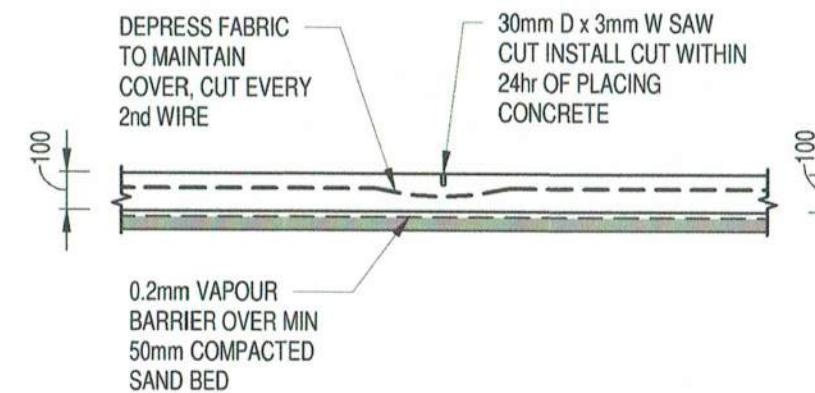
 HATCH DENOTES 50mm WET AREA SETDOWNS
ARCHITECT TO CONFIRM



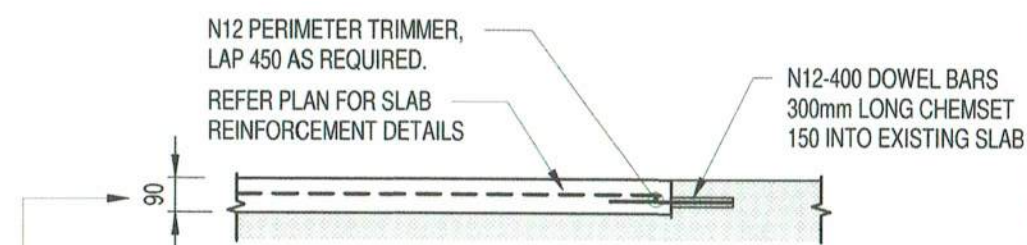
TYPICAL SLAB EDGE THICKENING (ET1) DETAIL



TYPICAL SLAB EDGE THICKENING (ET2) DETAIL

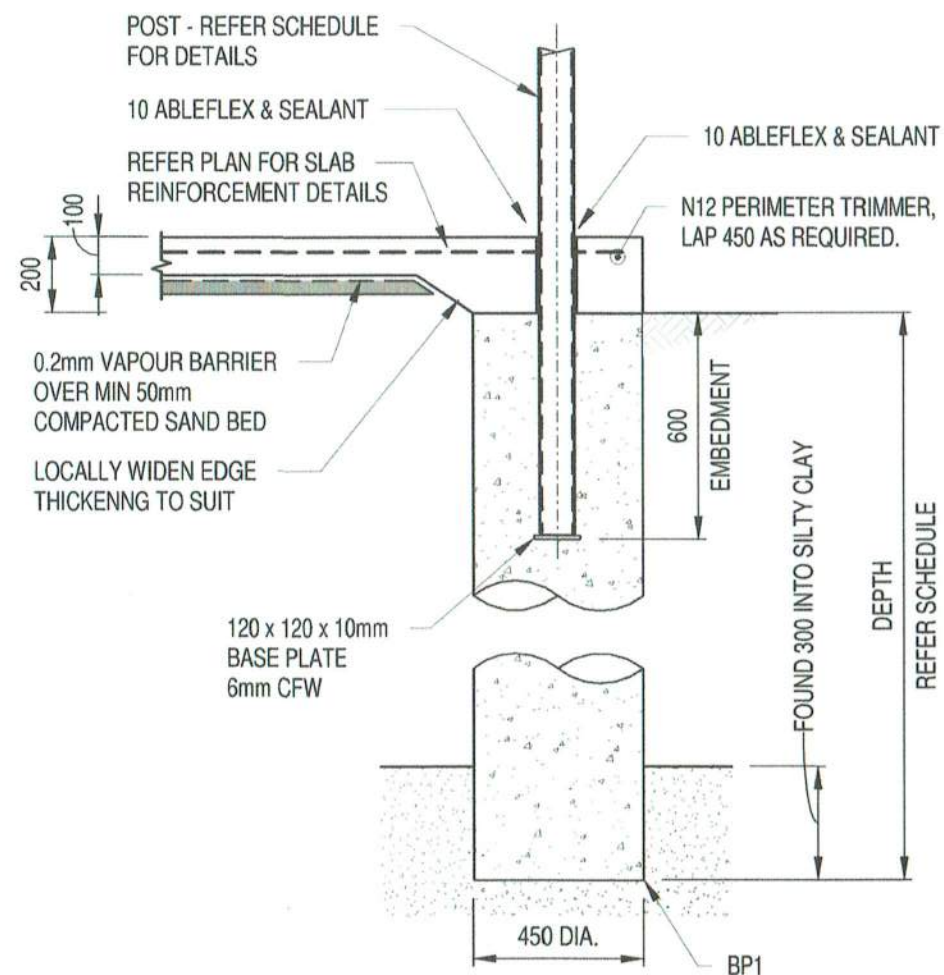


TYPICAL SAW JOINT DETAIL (S.J.)

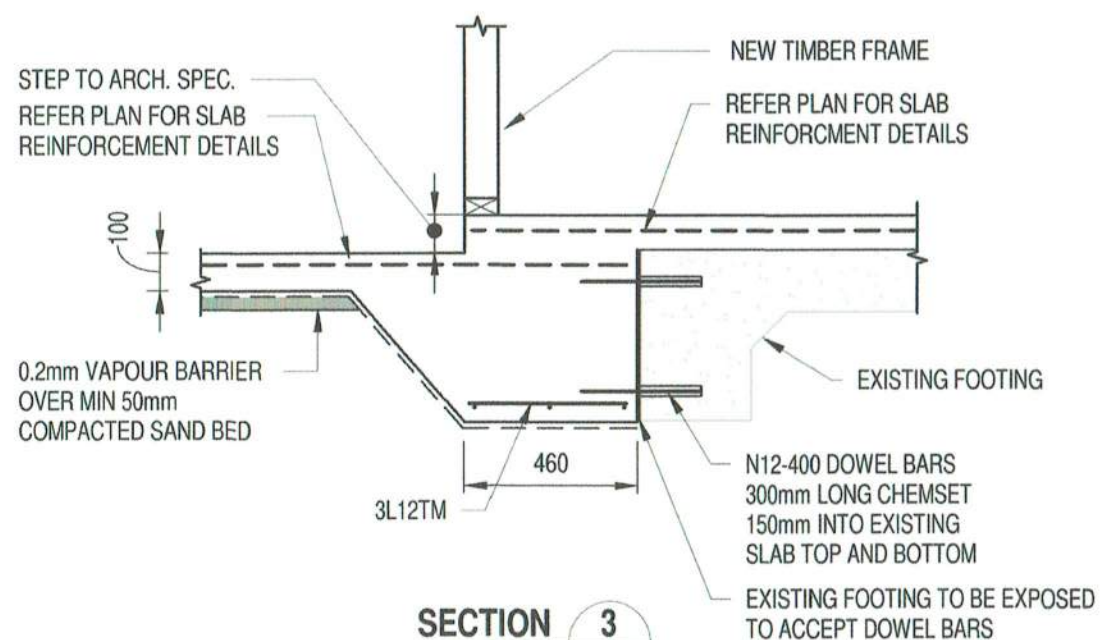


TYPICAL DOWEL TO TOPPING SLAB

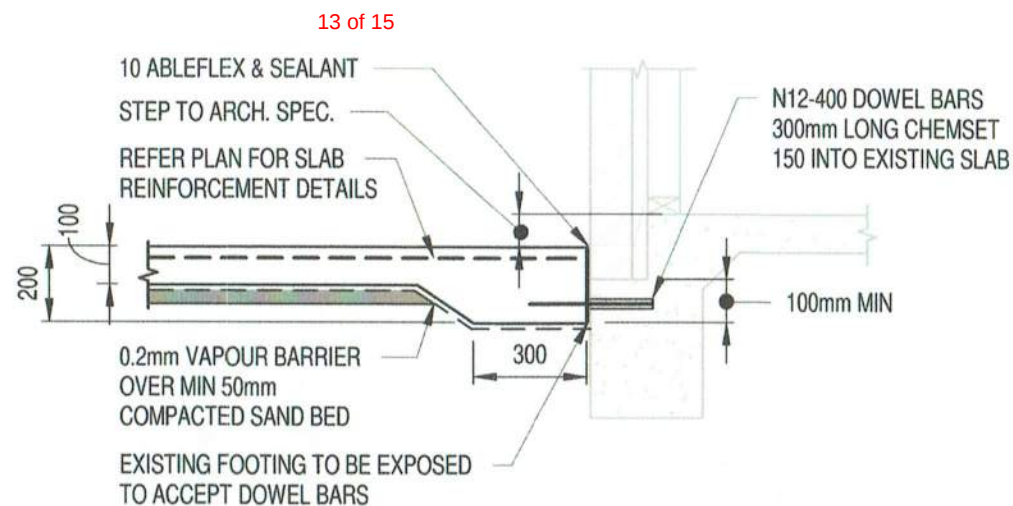
BUILDER TO CONFIRM ON SITE



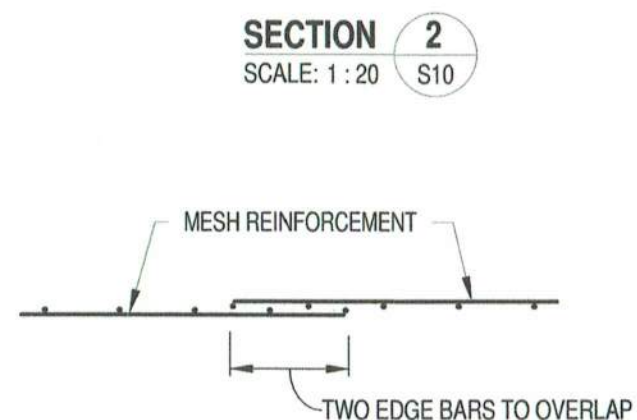
SECTION 1
SCALE: 1 : 20 S10



SECTION 3
SCALE: 1 : 20 S10



TYPICAL SLAB EDGE THICKENING (ET2) DETAIL



TYPICAL MESH SPLICE DETAIL



FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE

ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

**NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118**

APPROVED

Neil Stebbing RPEQ 6683

DRAWING

FOOTING & SLAB DETAILS

SCALE DATE

AS SHOWN @ A3 09/11/2021

DESIGN DRAWN CHECKED

SC DR NS

PROJECT REFERENCE REVISION

B001184- S11

A

POST TYPE SCHEDULE	
MARK	POST TYPE
P1 (C)	P1 THROUGH TO ROOF
P1 (O)	P1 OVER
P1 (S)	P1 STUB
P1 (U + O)	P1 UNDER + OVER

FRAMING SCHEDULE - ROOF	
MARK	SIZE
F1	130 x 45 LVL 13
L1	290 x 45 LVL 13
RB1	170 x 63 LVL 13 (CONTINUOUS)
RB2	170 x 63 LVL 13 (CONTINUOUS)
RB3	170 x 63 LVL 13 (CONTINUOUS)
RB4	170 x 63 LVL 13 (CONTINUOUS)
EX.RB	EXISTING ROOF BEAM - 190 x 45



REVISIONS		
A	FOR APPROVAL	09/11/2021



FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE
ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

**NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118**

APPROVED

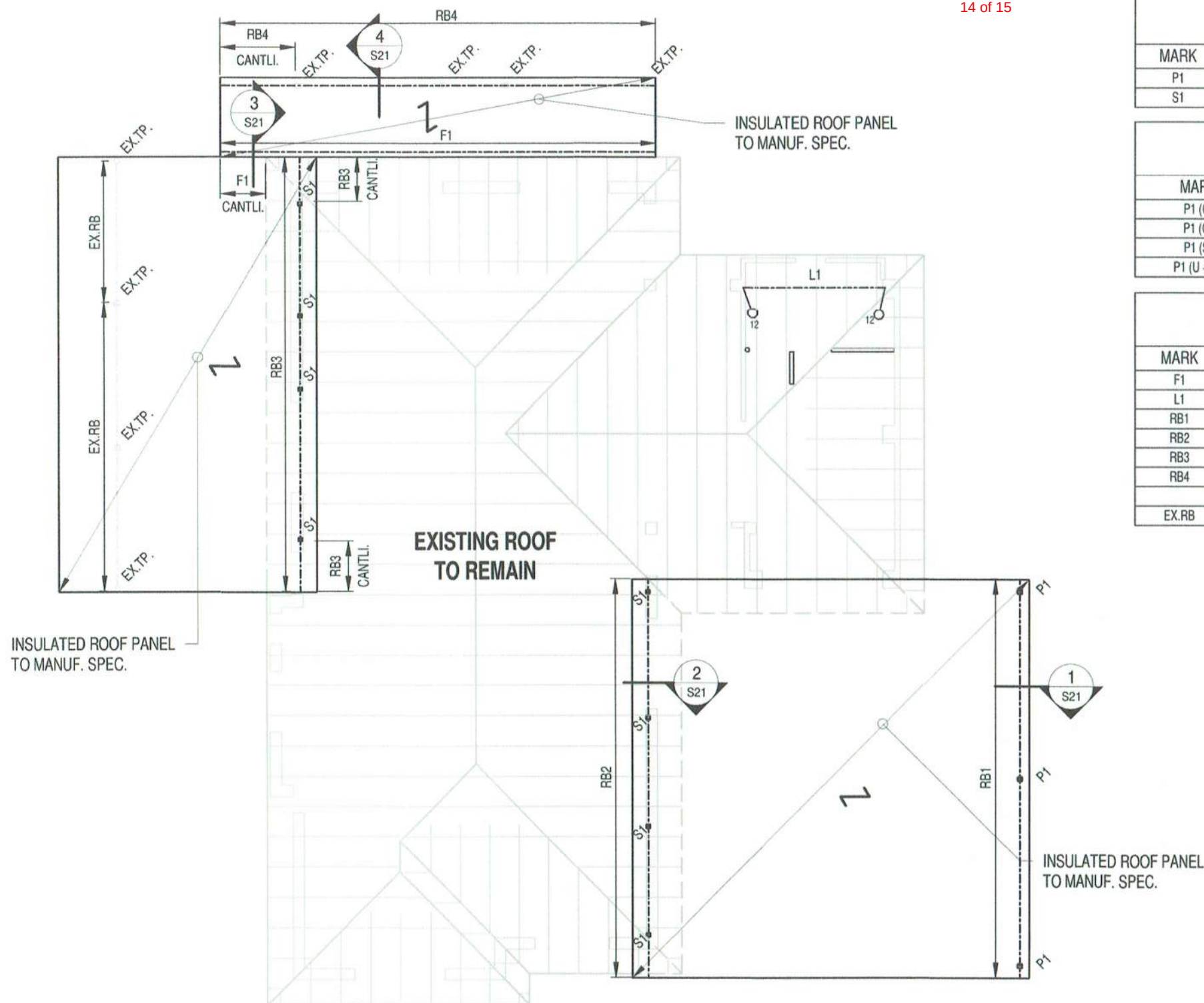


Neil Stebbing RPEQ 6683

DRAWING

ROOF FRAMING PLAN

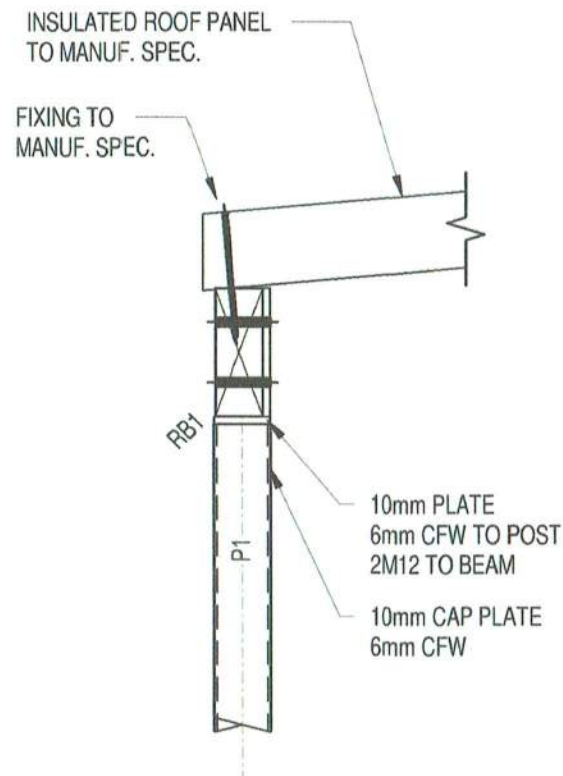
SCALE	DATE	
AS SHOWN @ A3	09/11/2021	
DESIGN	DRAWN	CHECKED
SC	DR	NS
PROJECT REFERENCE		REVISION
B001184- S20		A



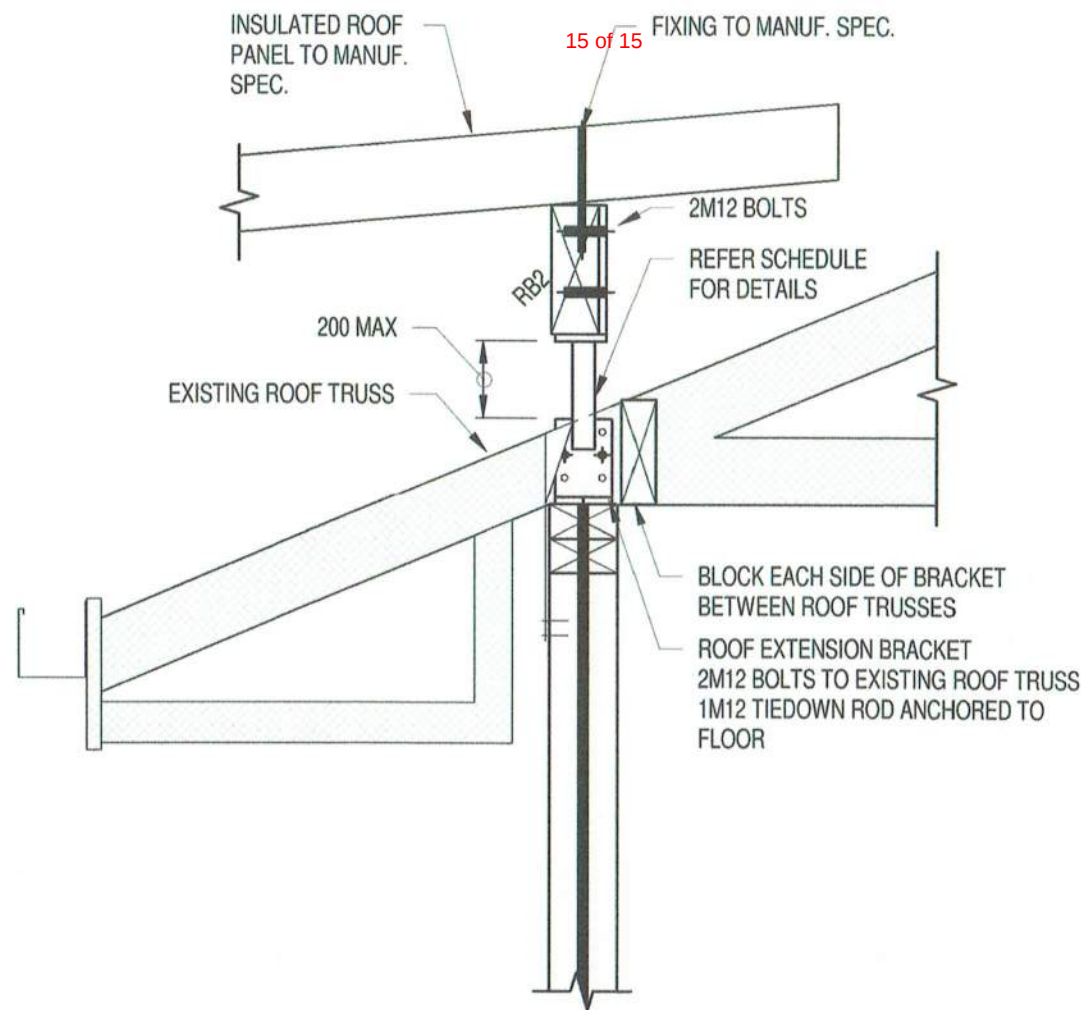
ROOF FRAMING PLAN
SCALE: 1 : 100
REFER TO ARCHITECTURAL PLAN FOR
LOCATION AND SET-OUT OF NEW WORKS

○ DENOTES 12 DIA TIEDOWN ROD

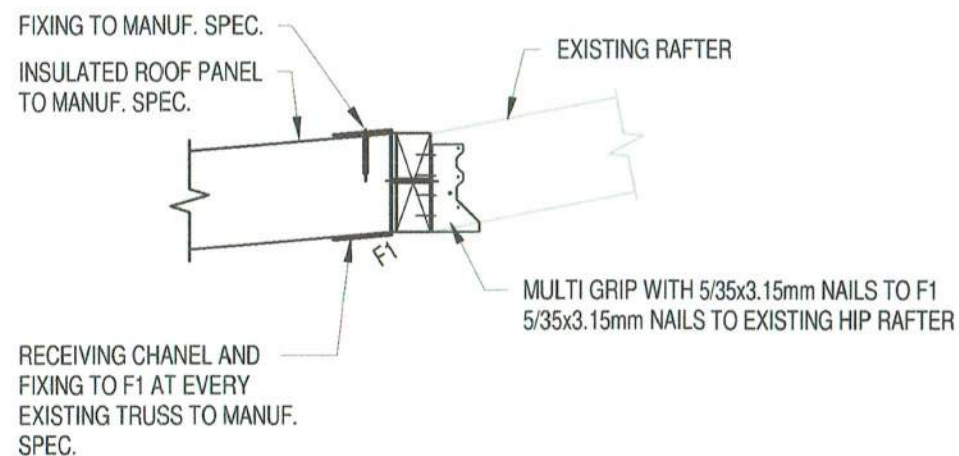
NOTE: FRAMING SUPPLIERS TO EMAIL ANY TIMBER FRAMING SUBSTITUTIONS OR CHANGES IN SETOUT TO design@ngsengineers.com.au FOR NGS ENGINEERS TO CO-ORDINATE AND APPROVE PRIOR TO DISPATCH OF MATERIALS TO SITE.



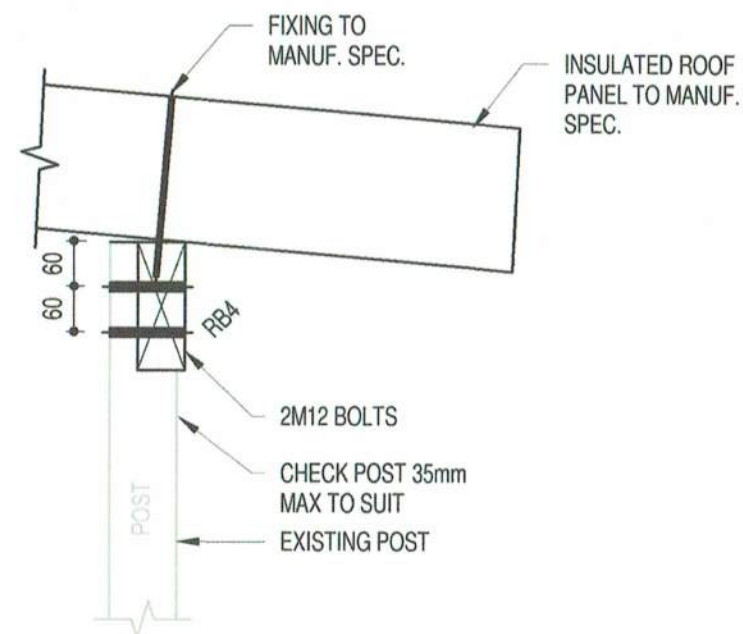
SECTION 1
SCALE: 1 : 10 S20



SECTION 2
SCALE: 1 : 10 S20



SECTION 3
SCALE: 1 : 10 S20



SECTION 4
SCALE: 1 : 10 S20



FOR BUILDING APPROVAL ONLY

CLIENT

JAMIE & KALEN SCHESKIE

ARCHITECT

TIM WOODFIELD ARCHITECTS

SITE ADDRESS

**NO.19
MOOLOOLAH COURT,
HILLCREST,
QLD, 4118**

APPROVED

Neil Stebbing
Neil Stebbing RPEQ 6683

DRAWING
ROOF FRAMING DETAILS

SCALE DATE

AS SHOWN @ A3 09/11/2021

DESIGN DRAWN CHECKED

SC DR NS

PROJECT REFERENCE REVISION

B001184- S21 A