

PROPOSED DWELLING FOR:

Ellesha Browne & Christopher J O Brittain

SITE ADDRESS

LOT 830, Daydream Street, North Harbour (S37), Burpengary East

4505

PLAN: DISCLOSURE



No: 00010075 21 Dec 2020

Christopher Tatham QBCC A1304275

DEVELOPMENT APPROVAL

FOR BUILDING WORKS

Ph: 5443 7288 Mob: 0406 516 167



cma
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Contact: Clare & Vince Nastri
PLAN: DISCLOSURE

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PH: (07) 3188 9322
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PROPOSED ENDEAVOUR V2, SINGLE STOREY DESIGN
FOR: Ellesha Browne & Christopher J O Brittain
AT: LOT 830, Daydream Street
North Harbour (S37), Burpengary East 4505

DATE	DRAWN	DESCRIPTION
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.	.	.
.	.	.
04/12/20	PH	CONSTRUCTION
19/10/20	PH	CONTRACT (CB)
02/10/20	PH	CONTRACT

CLIENT'S INITIALS: _____

BUILDER'S INITIALS: _____

DATE: ____/____/2020

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AA_Cover page

SCALE: 1:1 ISSUE: 4/12/2020

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DISCLOSURE PLAN NOTE
Lot dimensions are preliminary as per the supplied disclosure plan. Dimensions may vary in accordance with the registration of the final survey plan.



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Ph: 5443 7288 Mob: 0406516167

M (WM8) SLAB N3 WIND CAT 1 NOISE (MP4.4)

Contour & Feature Survey ©



**AXIS
SURVEYS**

Unit 5/23 Overlord Place, ACACIA RIDGE, Qld, 4110
Ph (07) 3363 8100 www.axissurveys.com.au

LOT 830 on Disclosure
Daydream Street
Suburb Burpengary
Local Auth Moreton Bay Reg. Council
Area 400 m²

Client:

Homes By CMA
Pty Ltd

Order No: 830DAYD/010

NOTES TO BE READ BEFORE USING THIS PLAN

This Plan has limitations regarding its use for some applications. Please contact this office if there is any doubt about the suitability of this plan for the intended use. These notes form part of this plan and they must remain with the plan or any copies. The limitations of this plan are detailed in the link below, with the main ones being:-

1. This plan has been prepared for our client & should not be used by others without approval.
2. The boundaries shown have been sourced from the subject survey plan or as noted, and have not been checked.
3. Distances from features to the shown boundaries should not be used or relied upon.
4. If positional accuracy is critical a boundary identification survey may be required.
5. The certificate of title has not been searched and should be checked for any encumbrances.
6. The contours may not represent the local authority's definition of "Ground Level"
7. A flood search has not been carried out. Check with local council for min. and max. construction heights.
8. Non visible services (if shown), have been plotted from the relevant authority's records or from other sources and may not be accurate. Services should be exposed before design or construction commences.
9. The north point has been taken from the survey plan and may not be suitable for all uses.

Refer to this link for more information
www.axissurveys.com.au/alertsanddisclaimers/

Issue	Date	Amendment	By
A	09/09/20	Original Issue	GEO2
B			
C			
D			
E			
F			

Site No:	2005078	Scale:	1:200
Order No:	X403624		
Level Datum:	AHD		
Surveyed:	AV/RH		
Date:	09/09/20		
		PAGE	1 OF 1

Site Coverage	
Areas	Total (m ²)
External Living	13.67
Garage	37.91
Internal Living	153.23
Site Area	400.00

Client Notes:
Final Pad & FFL may vary +/-150mm between plans & final construction due to cut and fill volumes or by request of the Site Supervisor to suit site conditions

ROOFWATER DISCHARGE TO:
Kerb & Channel
•Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
•Stormwater system to comply with AS3500 Part 3
•All other details to Local Government Requirements

BUILDING ON A NOISE AFFECTED ALLOTMENT
This allotment is Noise Affected and must comply with the subdivision acoustic report by Vipac Engineers (Ref:70Q-16-0058-TRP-519773-4). Construction of the dwelling is required to comply with Category 1 of QDC MP4.4.

STEEL FRAME
Manufacture details & Form 15 to be provided prior to frame stage

PRELIMINARY
Boundaries Compiled From Disclosure Plan

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1.1_Site Plan

SCALE: 1:200, 1:1.08 ISSUE: 4/12/2020

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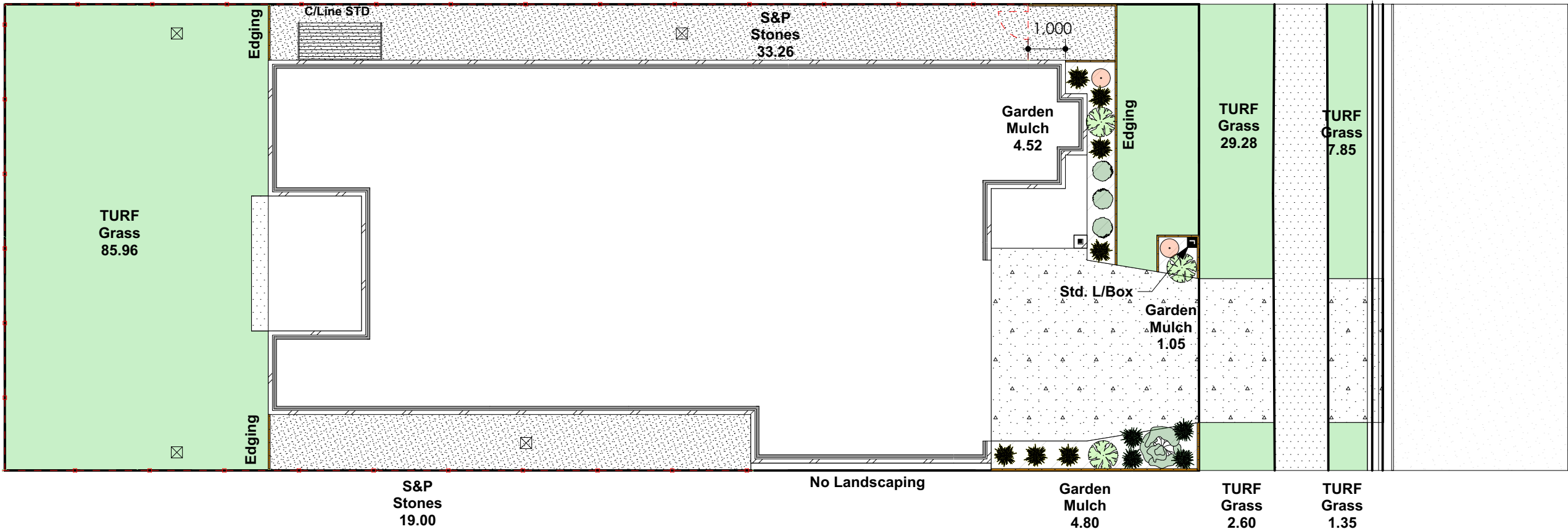
All snippets to be read in conjunction with full official covenant documentation provided by the land developer Any square meterage or lineal meterage shown is to be used as a basic guide only. Quantities shown do not account for wastage, slope or other factors

Fencing		
Type	LM	Notes
1.8H Timber Fence (To Covenant Requirements)	1,475	w/ Single Gate
1.8H Timber Fence (To Covenant Requirements)	12,450	
1.8H Timber Fence (To Covenant Requirements)	20,110	
1.8H Timber Fence (To Covenant Requirements)	27,465	

Lot Frontage	Minimum Number of Trees
18m and greater	5
14m and less than 18m	4
Less than 14m	3

- Trees are to be a minimum of 1.5m high when planted.

Plant Schedule			
Plant Name	Appx #	Symbol	Notes
Anigozanthos 'Big Red / Kangaroo Paw'	7		
Backhousia Citriodora 'Lemon Myrtle'	1		1.5m Plant
Ixora 'Prince of Orange'	2		
Metrosideros thomasi 'NZ Christmas Bush'	3		
Ophiopogon 'Stripey White'	4		
Syzygium Australe 'Elite'	3		1.5m Plant
Similar OR Seasonal Covenant Approved Plants			



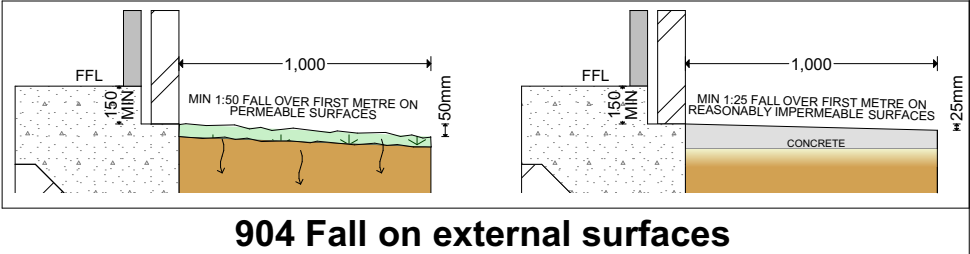
ALL LANDSCAPING BY OWNER

ALL RETAINING BY OWNER

ALL FENCING BY OWNER

Landscaping plan is for illustration and covenant purposes ONLY. Landscaping and fencing to be completed by the Owners after handover, quantities & layout are to be used as a guide only and HOMES by CMA assumes no responsibility

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No: 00010075 21 Dec 2020
Christopher Tatham QBCC A1304275
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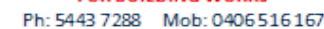
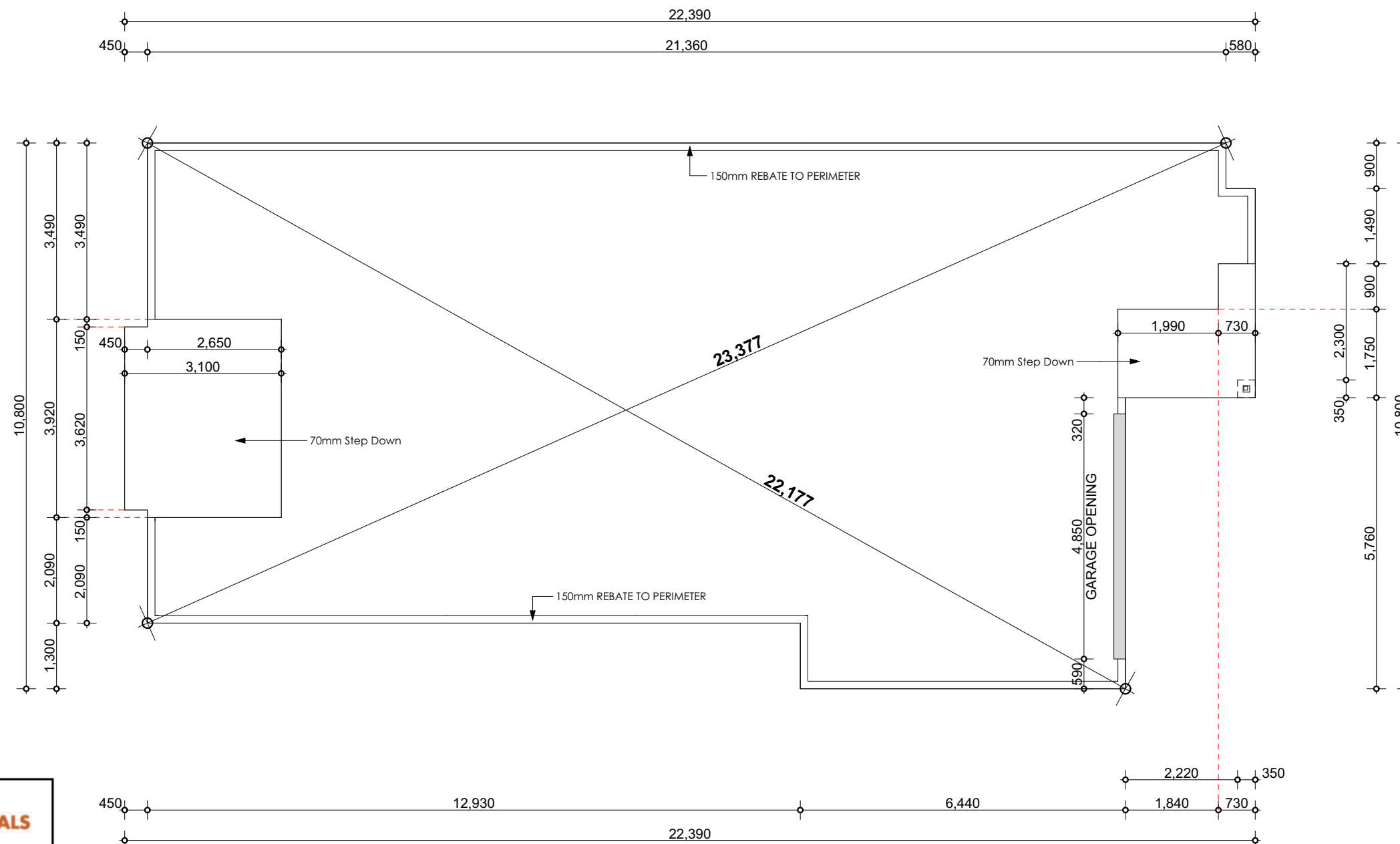
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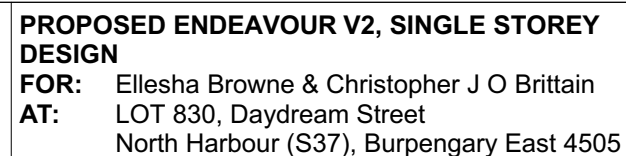
1.3_Landscaping & Fencing

SCALE: 1:125, 1:1.25	ISSUE: 4/12/2020
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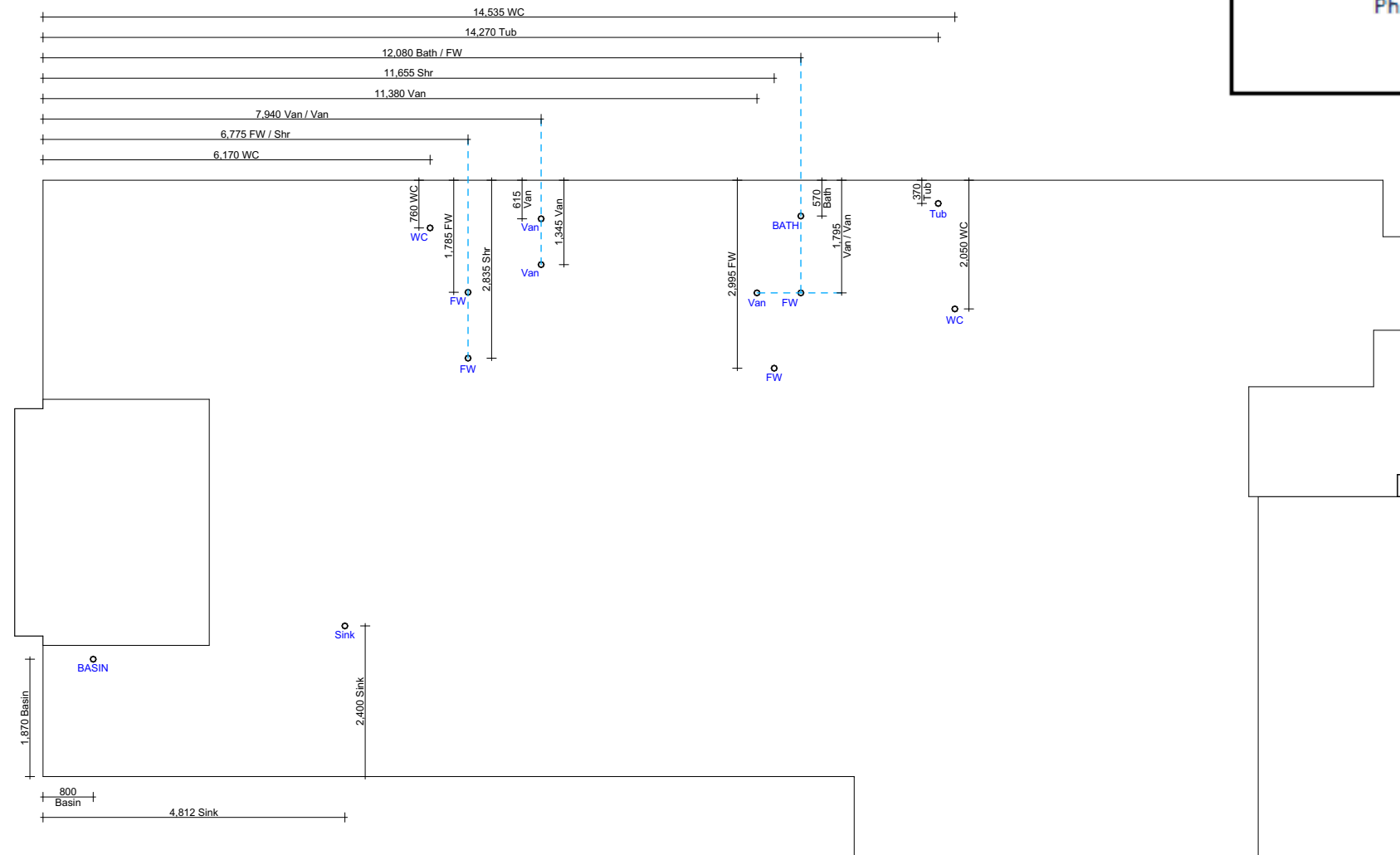
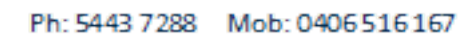
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2.1_Slab

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External Concrete - Exposed AGG			
Name	Finish	Area (m²)	Notes
Crossover	Conc - Exp Agg	5.85	
Driveway	Conc - Exp Agg	34.12	
		39.97 m²	

Slab Extensions	
Name	Area (m²)
Alfresco Extension	1.63

M (WM8) SLAB

- Where a footpath has been constructed in front of the lot, the driveway must abut and not cut through the footpath. The balance of the driveway between the footpath and the kerb may be plain concrete to match the footpath.



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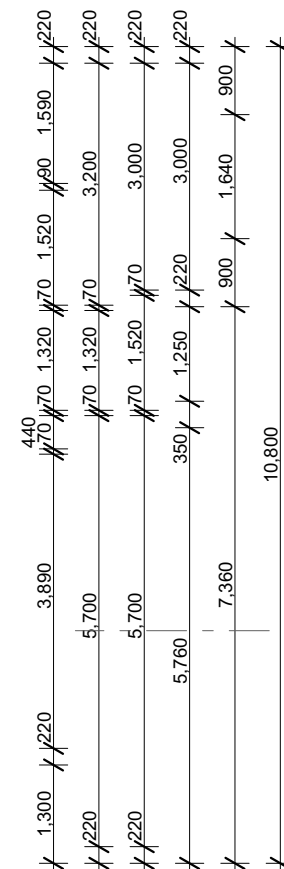
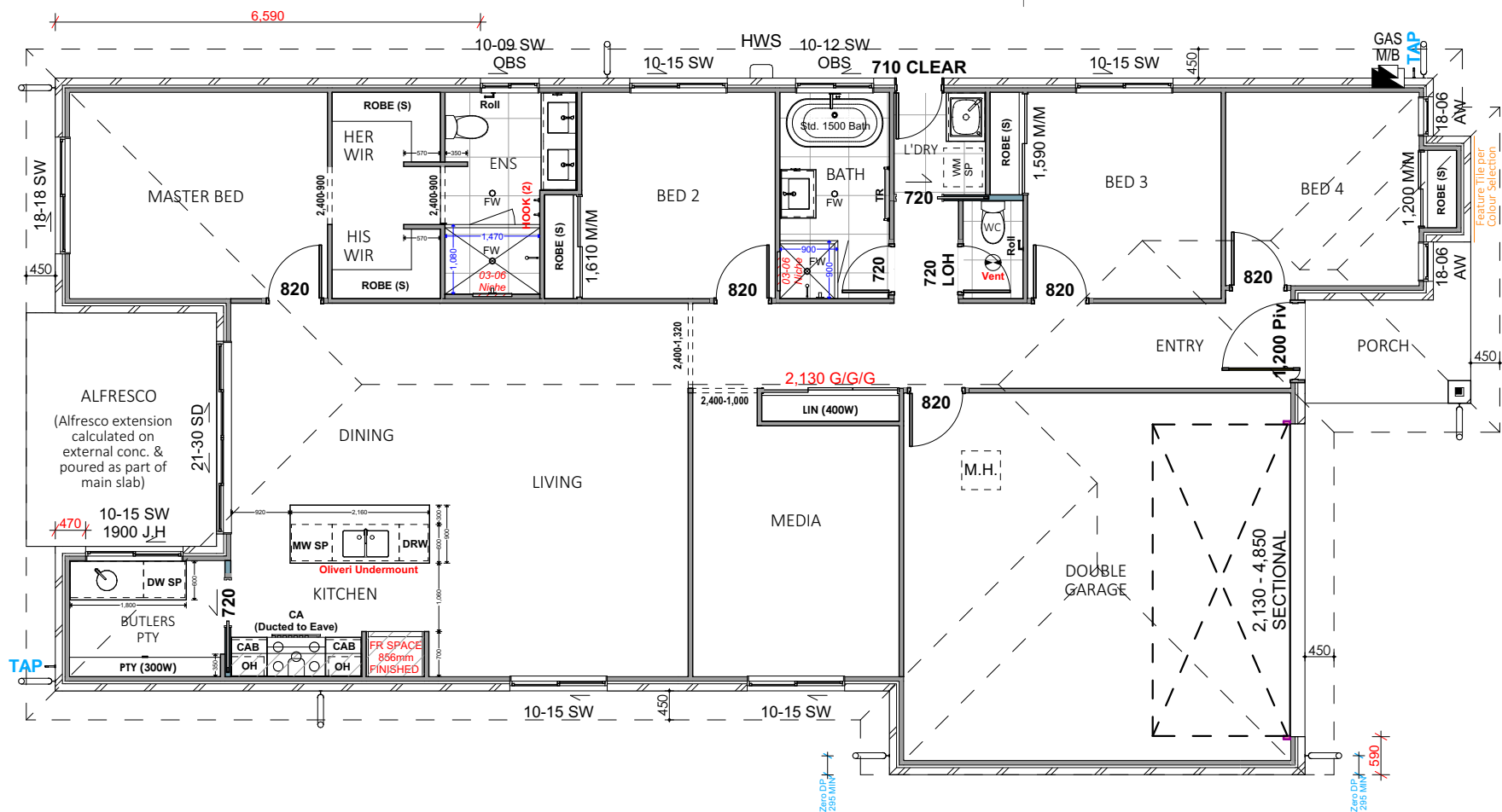
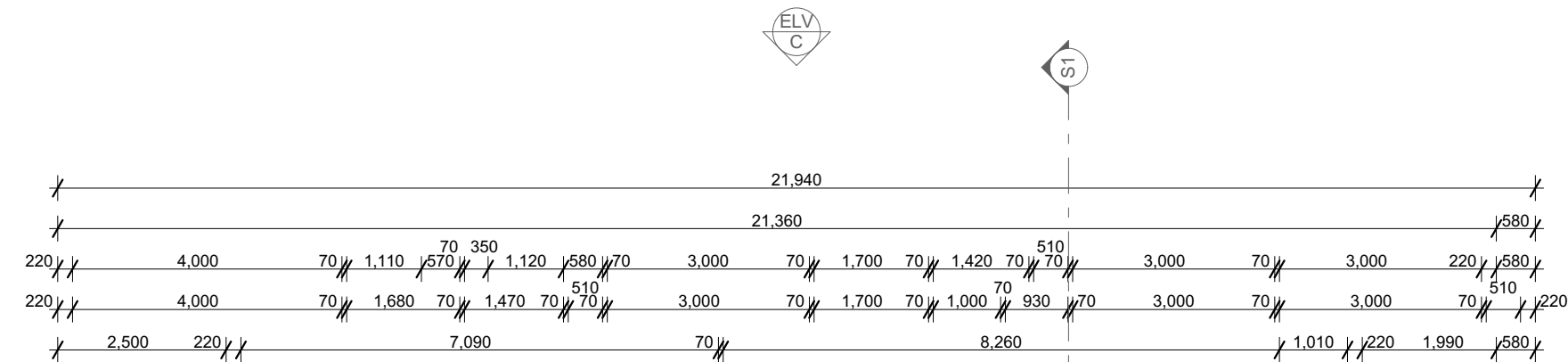
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2.3_External Concrete

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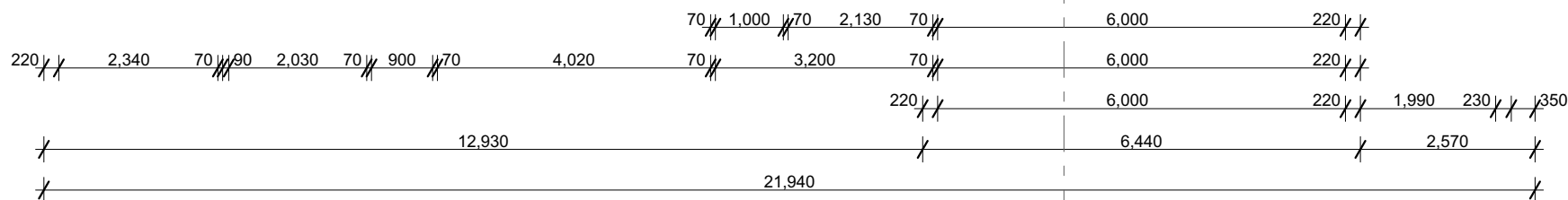


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FLOOR AREA	
NAME	Area (m ²)
ALFRESCO	9.05
MAIN	191.13
PORCH	4.63
	204.81 m ²

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3.1_Ground Floor

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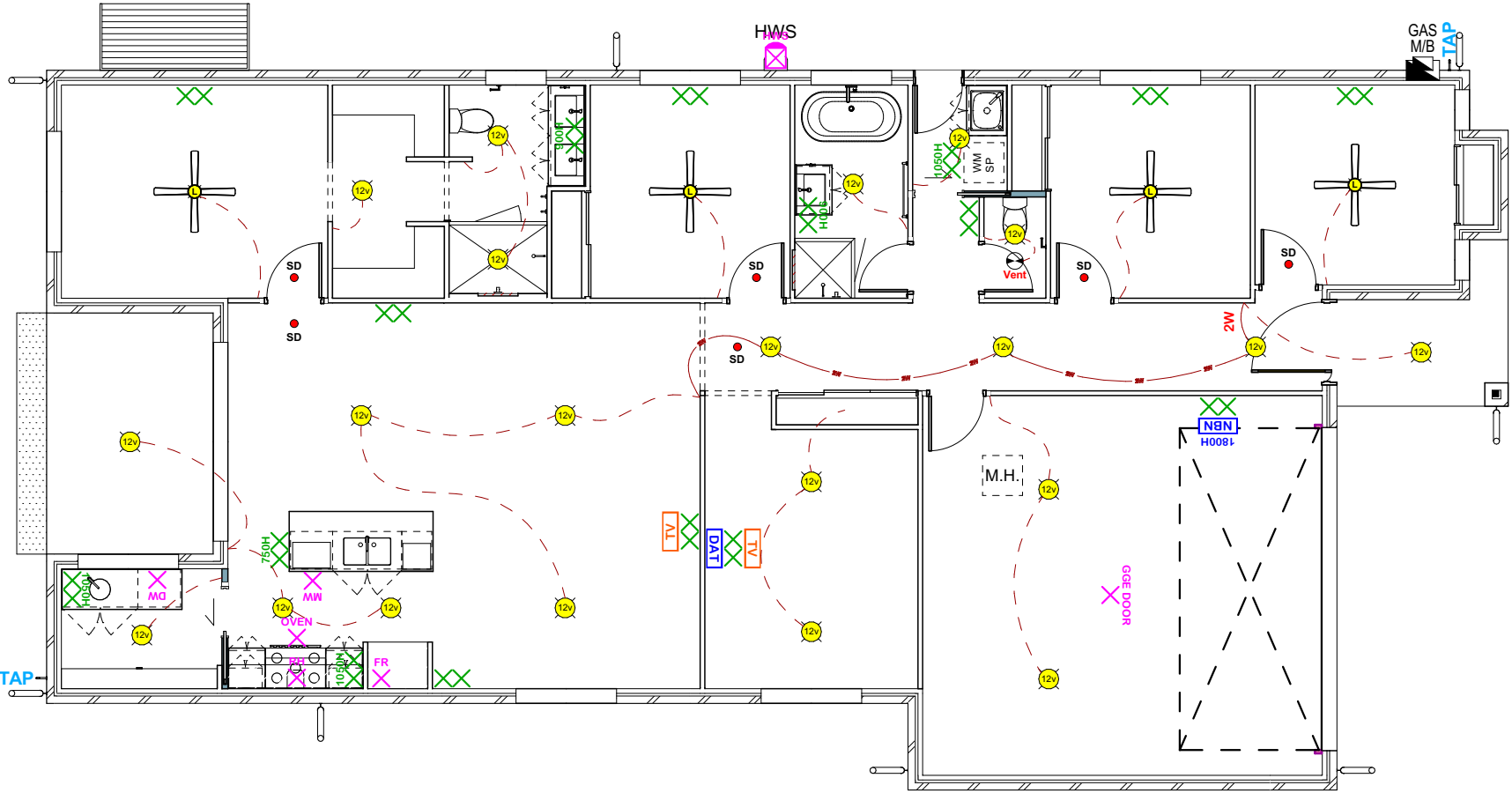
Electrical Items			
Item Name	Quant	Symbol	Notes
AV - TV	2		
Exhaust Fan	1		
GPO - Double	16		
GPO - Ext - Single	1		
GPO - Single	6		
Line - 2 Way	1		
Network - Data	1		
Network - NBN	1		
Smoke Detector	6		

LIGHTING			
Item Name	Quant	Symbol	Notes
FAN (Light)	4		
LED Downlight	21		

NOTES:
GPO Internal - 300H
GPO Above Vanities - 900H
GPO External - 700H

Standard light allowance:
1 LED Per 10sqm
1 Fan/Light to bedrooms

Smoke Alarms:
1 Interconnected Smoke alarm is required in each Bedroom, outside bedrooms and in each Living area.





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4.1_GF Electrical

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Tile hatch is indicative of material only, tile set-out will be at tilers discretion

FLOOR COVERINGS APPROX. (m²)		
Material	Name	Area
Floor - Carpet	BED 2	10.42
Floor - Carpet	BED 3	10.41
Floor - Carpet	BED 4	9.61
Floor - Carpet	MASTER BED	18.10
Floor - Carpet	MEDIA	12.96
		61.50 m²
Floor - Tiles (External)	ALFRESCO	10.68
Floor - Tiles (External)	PORCH	4.51
		15.19 m²
Floor - Tiles (Int)	BATH	5.46
Floor - Tiles (Int)	ENS	5.48
Floor - Tiles (Int)	LDY	2.32
Floor - Tiles (Int)	MAIN	60.53
Floor - Tiles (Int)	WC	1.46
		75.25 m²

Typical Notes (UNO):
Hatch of tiling is representational only and may not represent actual size or layout. All tiling will be set out at tilers discretion.

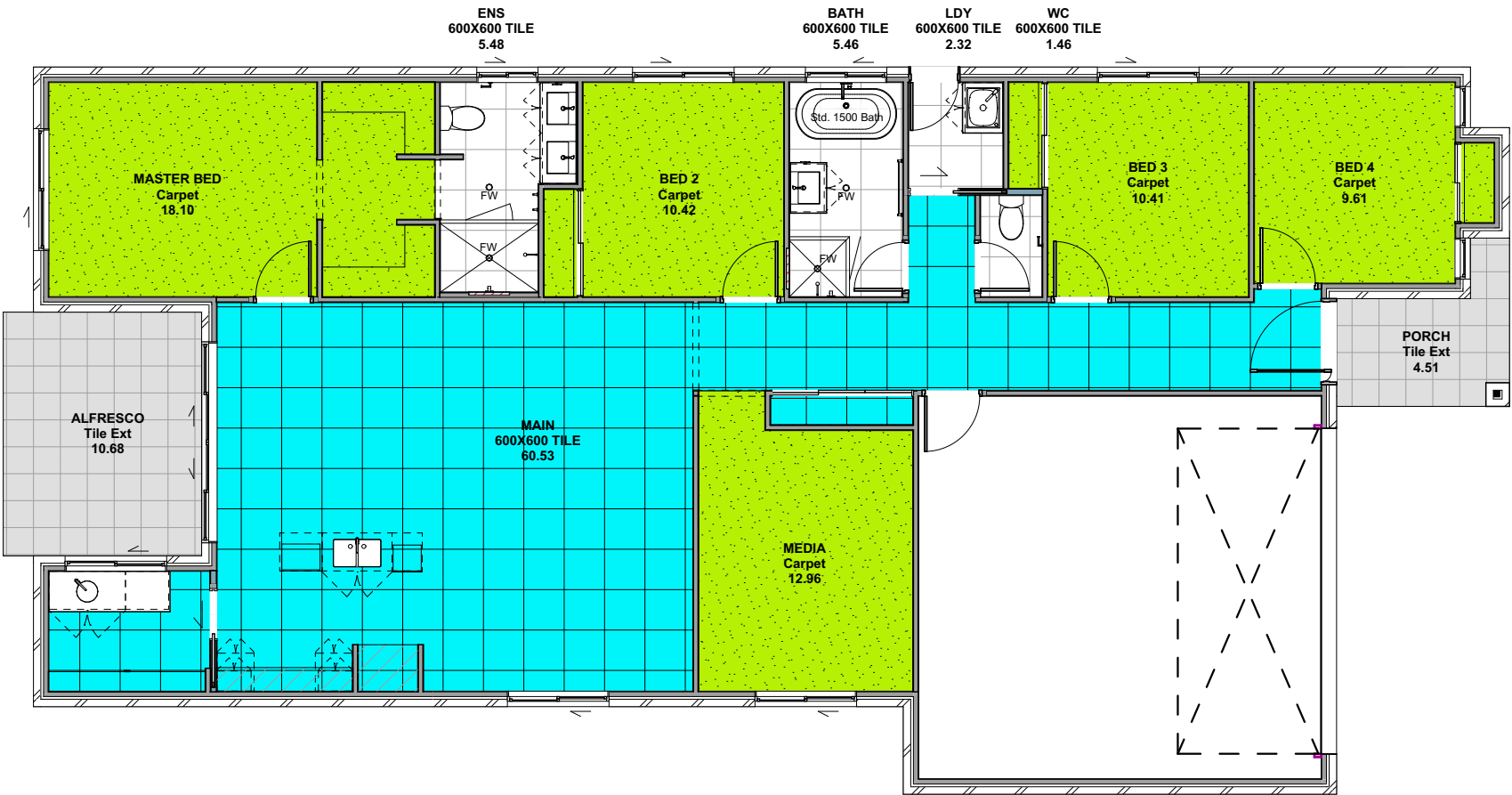
Tile trim finish and colour as noted on the colour selection

Smart floor wastes if included are shown on the floor plans

Wet area tile trims as per colour selection

Wall tiling heights are shown on their relative Joinery pages

Where Hybrid flooring is used, skirting is to be installed after flooring installation



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5.1_GF Coverings

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Colours and hatch don't represent final product, refer to colour selections for material finish

Typical Notes (UNO):
Objects shown in elevations are generic and may not represent the final product. Refer to Colour Selections & Inclusions for Upgrades and any discrepancies

Client must confirm Natural Gas availability in their area

Entry door and handle as per Inclusions

Gas bottles require 900mm walking space for delivery. Minimum Gas offset distances from opening and electrical as shown on plans.

Brick Lintels over utility doors, Low & exposed windows and 600 wide windows. All other windows to have painted infills above

Full Render on facade to return 1m behind front building line (To Fence or window) with bag & Paint to the remainder

Where covenant requires render to secondary frontage or longer returns this will be done and costings added to inclusions

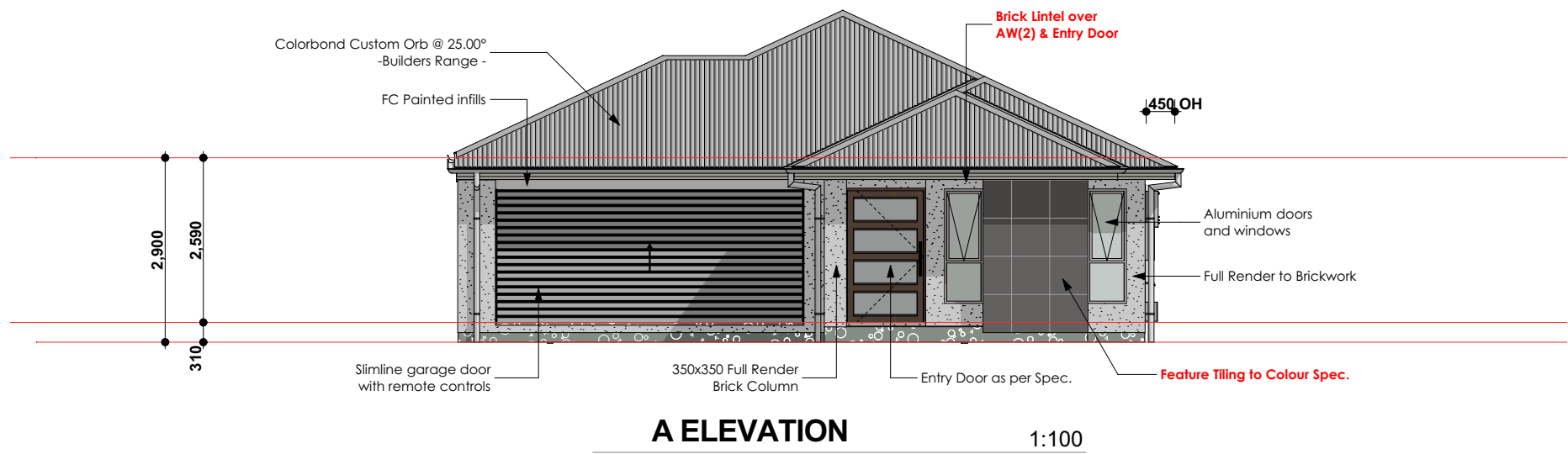
Downpipe locations are governed by the Australian building standards. Max. distance between each downpipe is 12lm with the addition of 1lm for every change in direction (corner). Downpipes to be within 1.5m of a valley

Cladding Notes:
LIGHTWEIGHT CLADDING
FIXED TO STEEL FRAME OVER
18mm TIMBER BATTEN

34mm OVERALL CLADDING
THICKNESS INCLUDING LINEA
WEATHERBOARD & TIMBER
BATTEN

DOUBLE STUDS AT 1200CRS
TO ALL AXON CLADD
WALLS

GABLE-END TRUSSES TO
HAVE VERTICAL MEMBERS @
450mm CENTRES





SUNCOAST
BUILDING APPROVALS

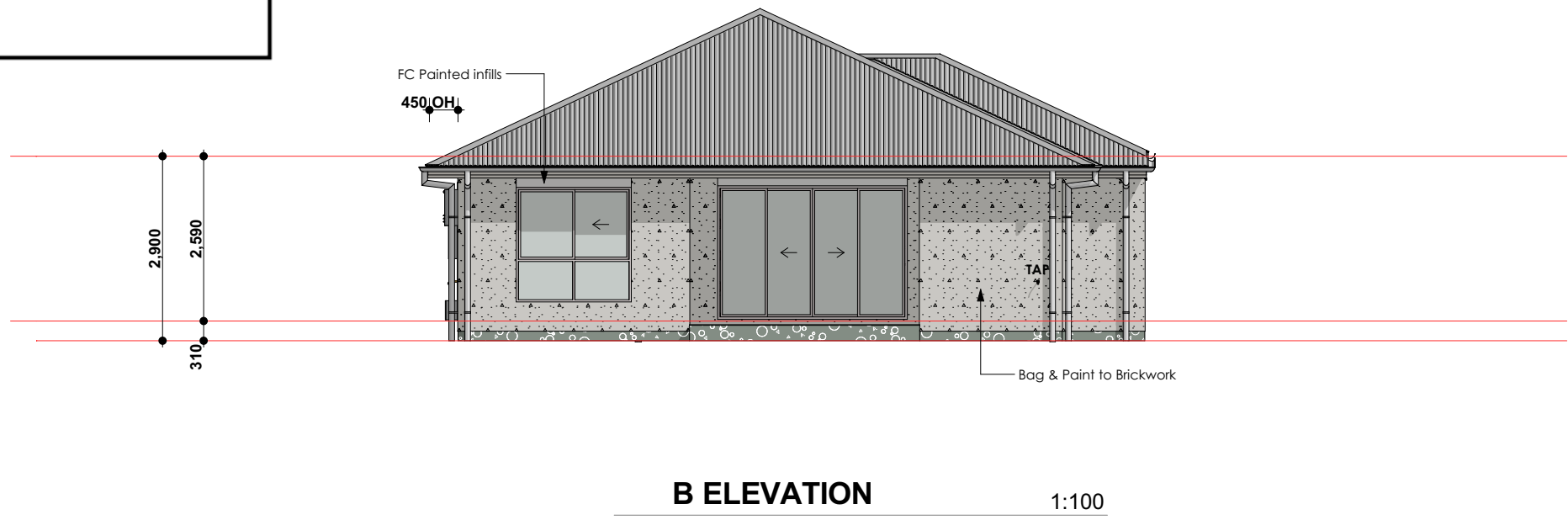
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PROPOSED ENDEAVOUR V2, SINGLE STOREY DESIGN
FOR: Ellesha Browne & Christopher J O Brittain
AT: LOT 830, Daydream Street
North Harbour (S37), Burpengary East 4505

DATE	DRAWN	DESCRIPTION
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04/12/20	PH	CONSTRUCTION
19/10/20	PH	CONTRACT (CB)
02/10/20	PH	CONTRACT

CLIENT'S INITIALS: _____
BUILDER'S INITIALS: _____
DATE: ____/____/2020

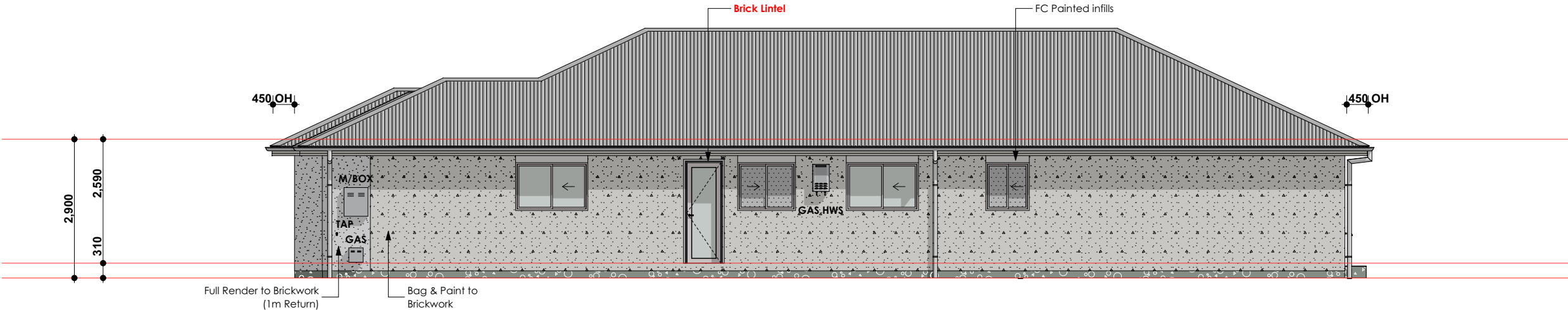
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6.1_ELEV (A-B)

SCALE: 1:100 ISSUE: 4/12/2020

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Colours and hatch don't represent final product, refer to colour selections for material finish



C ELEVATION

1:100



SUNCOAST

BUILDING APPROVALS

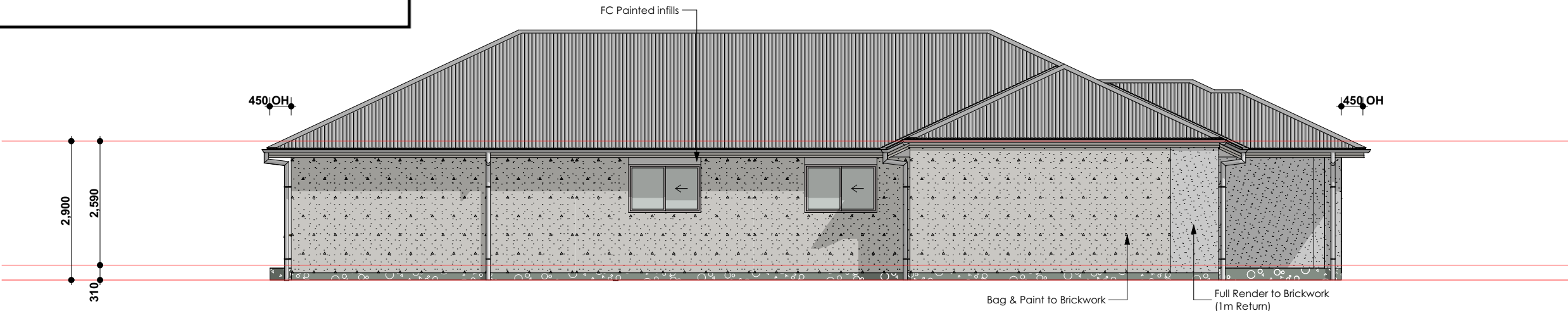
No: 00010075 21 Dec 2020

Christopher Tatham QBCC A1304275

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FOR BUILDING WORKS

Ph: 5443 7288 Mob: 0406 516 167



D ELEVATION

1:100

Typical Notes (UNO):
Objects shown in elevations are generic and may not represent the final product. Refer to Colour Selections & Inclusions for Upgrades and any discrepancies

Client must confirm Natural Gas availability in their area

Entry door and handle as per Inclusions

Gas bottles require 900mm walking space for delivery. Minimum Gas offset distances from opening and electrical as shown on plans.

Brick Lintels over utility doors, Low & exposed windows and 600 wide windows. All other windows to have painted infills above

Full Render on facade to return 1m behind front building line (To Fence or window) with bag & Paint to the remainder

Where covenant requires render to secondary frontage or longer returns this will be done and costings added to inclusions

Downpipe locations are governed by the Australian building standards. Max. distance between each downpipe is 12lm with the addition of 1lm for every change in direction (corner). Downpipes to be within 1.5m of a valley

Cladding Notes:
LIGHTWEIGHT CLADDING
FIXED TO STEEL FRAME OVER
18mm TIMBER BATTEN

34mm OVERALL CLADDING
THICKNESS INCLUDING LINEA
WEATHERBOARD & TIMBER
BATTEN

DOUBLE STUDS AT 1200CRS
TO ALL AXON CLADDED
WALLS

GABLE-END TRUSSES TO
HAVE VERTICAL MEMBERS @
450mm CENTRES

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Contact: Clare & Vince Nastri
PLAN: DISCLOSURE

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6.2_ELEV (C-D)

SCALE: 1:100

ISSUE: 4/12/2020

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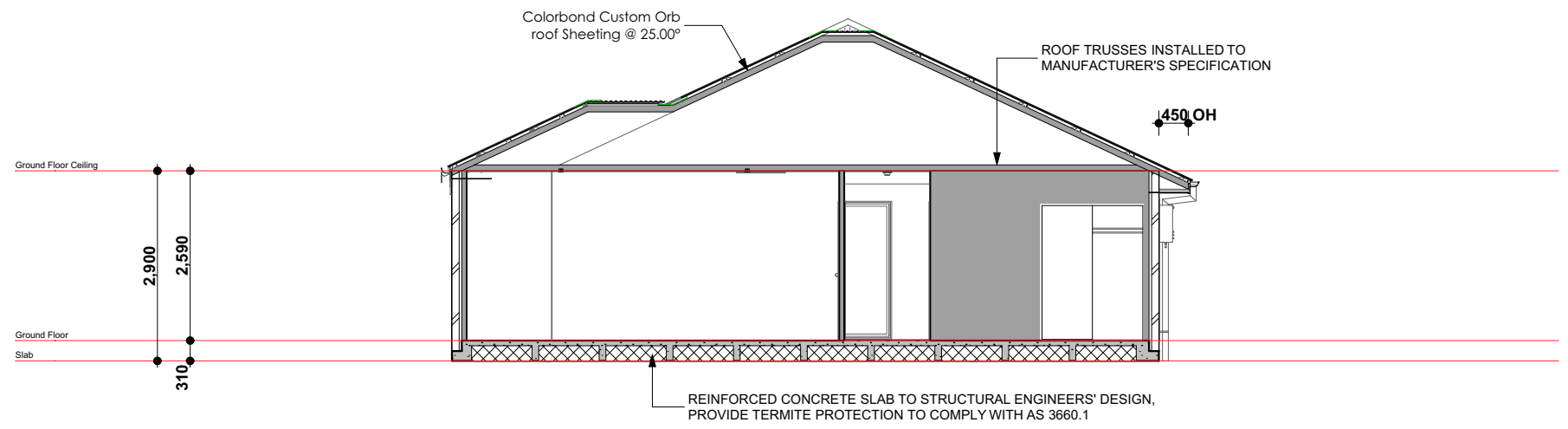
STEEL FRAME

Cladding Notes:
LIGHTWEIGHT CLADDING
FIXED TO STEEL FRAME OVER
18mm TIMBER BATTEN

34mm OVERALL CLADDING
THICKNESS INCLUDING LINEA
WEATHERBOARD & TIMBER
BATTEN

DOUBLE STUDS AT 1200CRS
TO ALL AXON CLAPPED
WALLS

GABLE-END TRUSSES TO
HAVE VERTICAL MEMBERS @
450mm CENTRES



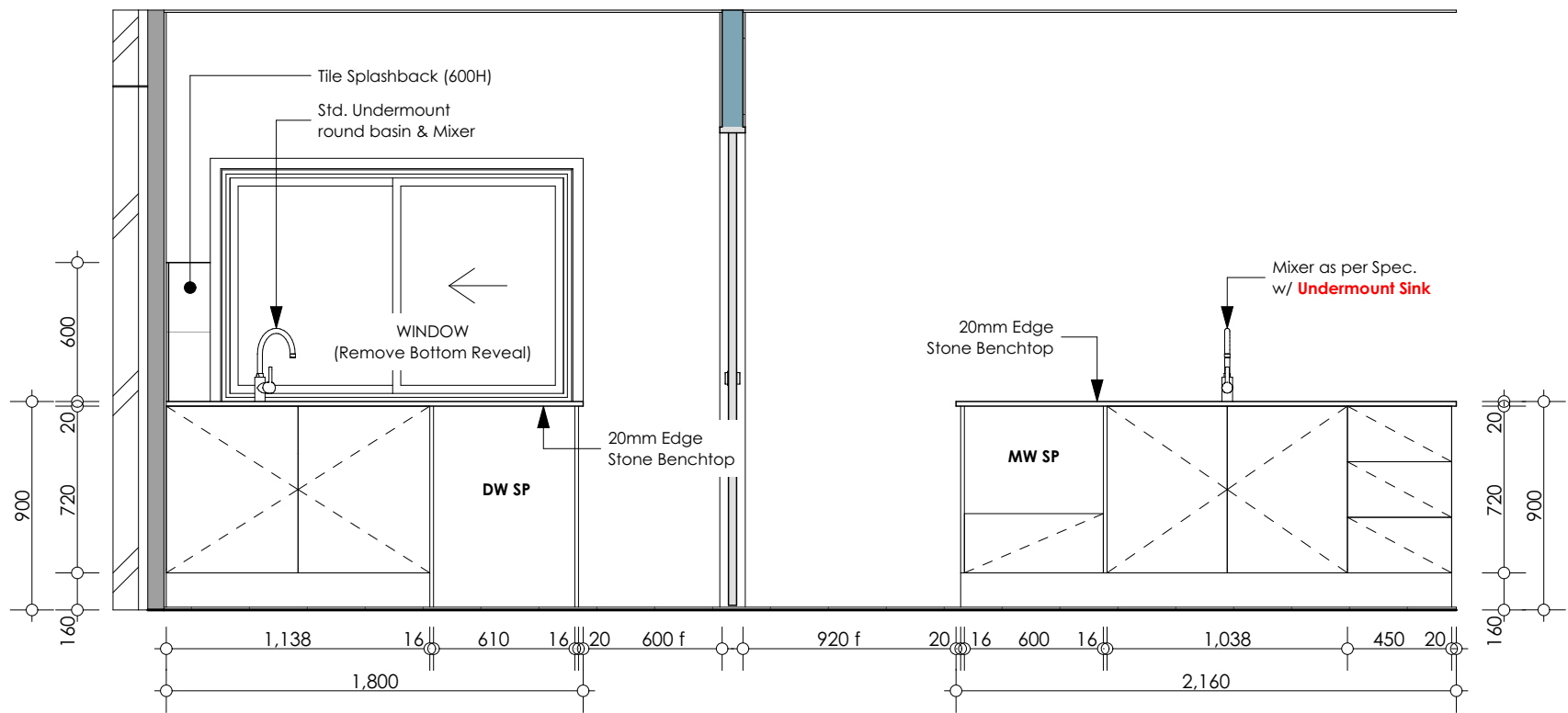
S1 SECTION 1:100



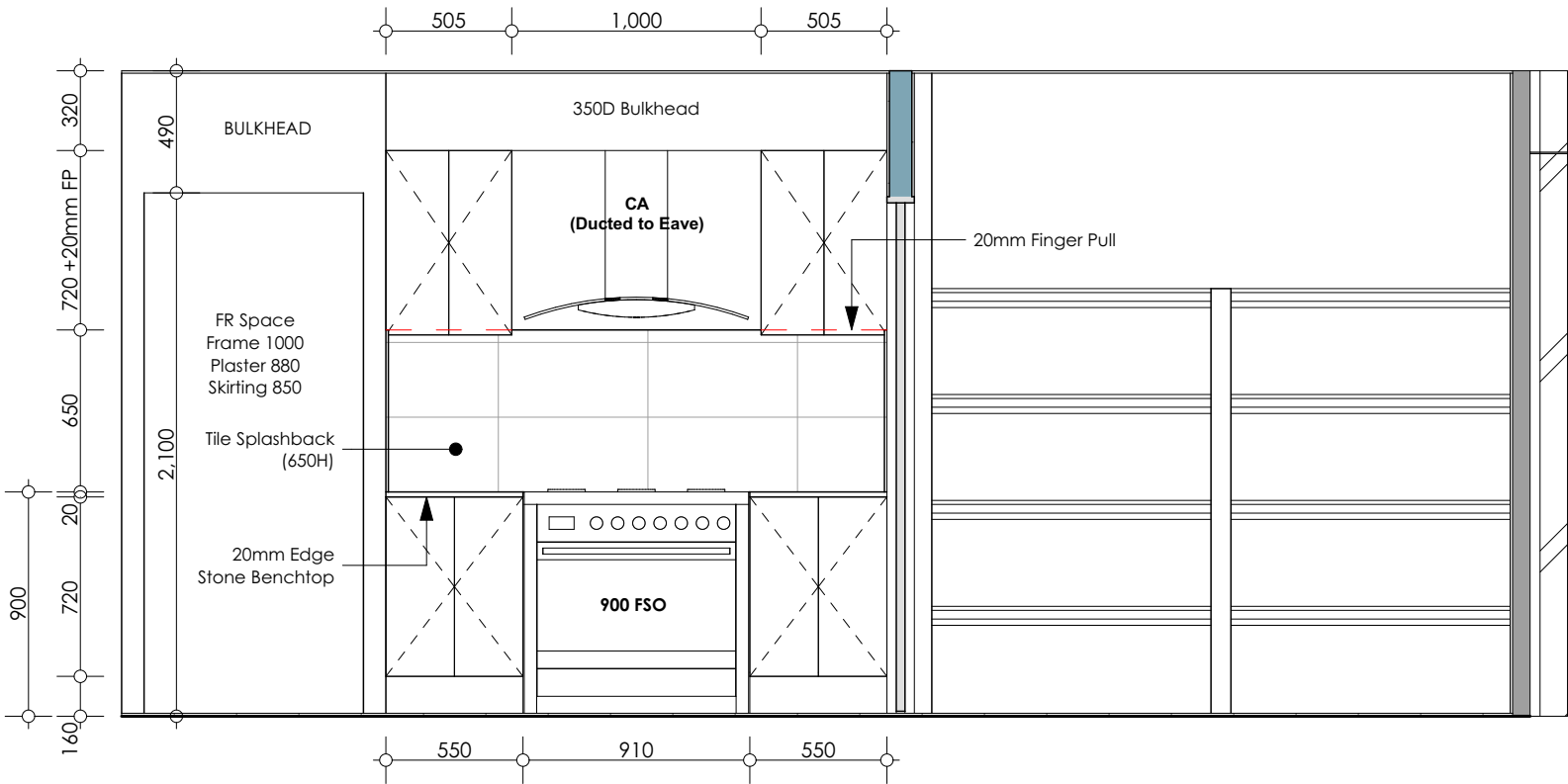
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Christopher Tatham QBCC A1304275
DEVELOPMENT APPROVAL
FOR BUILDING WORKS
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Benchtops over 3m Long are split into 2 slabs at stone masons discretion Tile hatch is indicative of material only, tile set-out will be at tilers discretion



01 KIT



03 KIT

- Key:
- RH Slide out Rangehood
 - CA Canopy Rangehood
 - UBO Under Bench Oven
 - FSO Freestanding Oven
 - WO Wall Oven Tower
- DRW Std. 3 Draws
- CAB Cabinet
- POT Pot Draws
- OH Over Head Cab
- DW Dishwasher Space
- MW Microwave Space
- FR Fridge Space

Typical Notes (UNO):

Objects shown in elevations are generic and may not represent the final product. Refer to Colour Selections & Inclusions for Upgrades and any discrepancies

Builders Range 20mm Stone Benchtops throughout

Soft Close doors & drawers throughout

Kickboards to match base cabinetry colour

Handles as specified in colour selection

Overheads 720mm High with +20mm Finger Pull (470mm Door panel)

Pantry shelving depth as noted on floor plans

Plaster Bulkheads over OH 's 350mm Deep

Fridge tap(s) set at 1900H or behind OH if included



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8.1_Kitchen

SCALE: 1:30 ISSUE: 4/12/2020

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Benchtops over 3m Long are split into 2 slabs at stone masons discretion

Tile hatch is indicative of material only, tile set-out will be at tilers discretion

Key:

WM Washing Machine
Space
DR Dryer Space

Typical Notes (UNO):
Objects shown in elevations are generic and may not represent the final product. Refer to Colour Selections & Inclusions for Upgrades and any discrepancies

Linen shelving depth as noted on floor plans

Plaster Bulkheads over OH 's 350mm Deep

190mm High Skirting tile to wet area

300mm High Splashback standard, 600mm High where OH's included

WM Taps in Cabinet Access through kickboard (See Detail)

Wall mounted Dryer Noggings set at 2350H

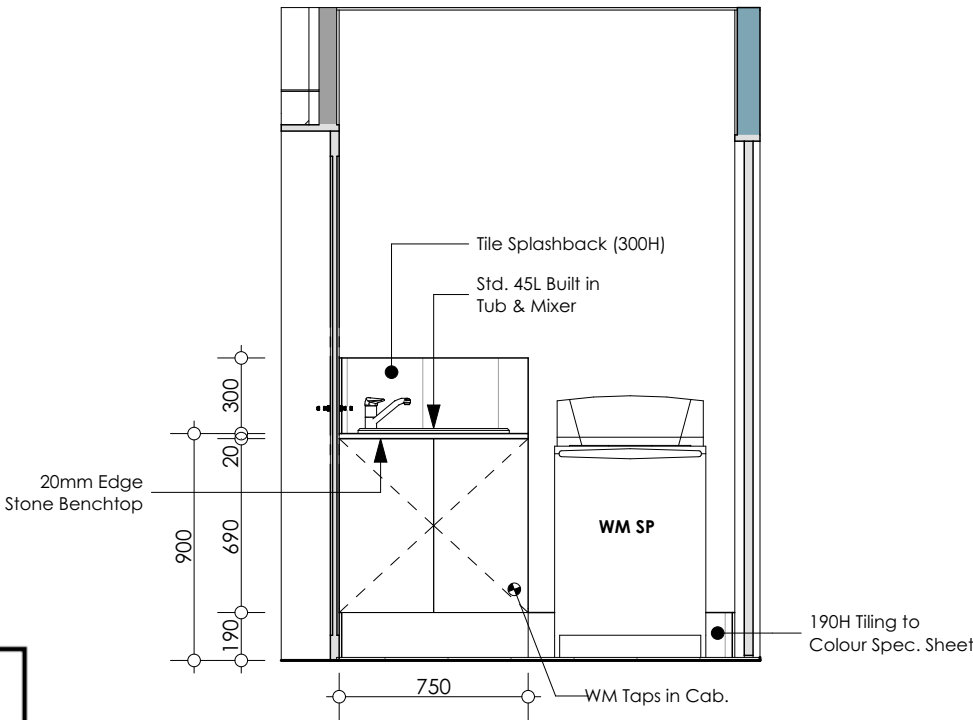
Builders Range 20mm Stone Benchtops throughout

Soft Close doors & drawers throughout

Kickboards to match base cabinetry colour

Handles as specified in colour selection

Overheads 720mm High with +20mm Finger Pull (740mm Door panel)





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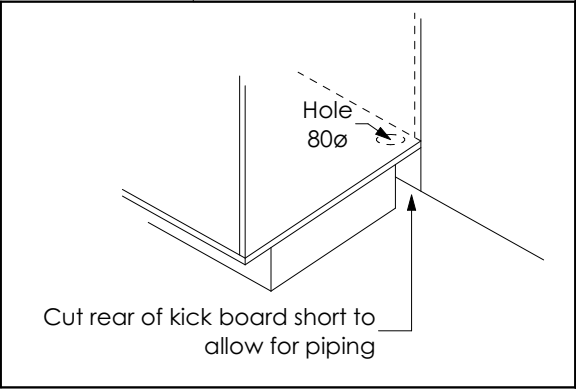
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01 LDY



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8.2_Laundry

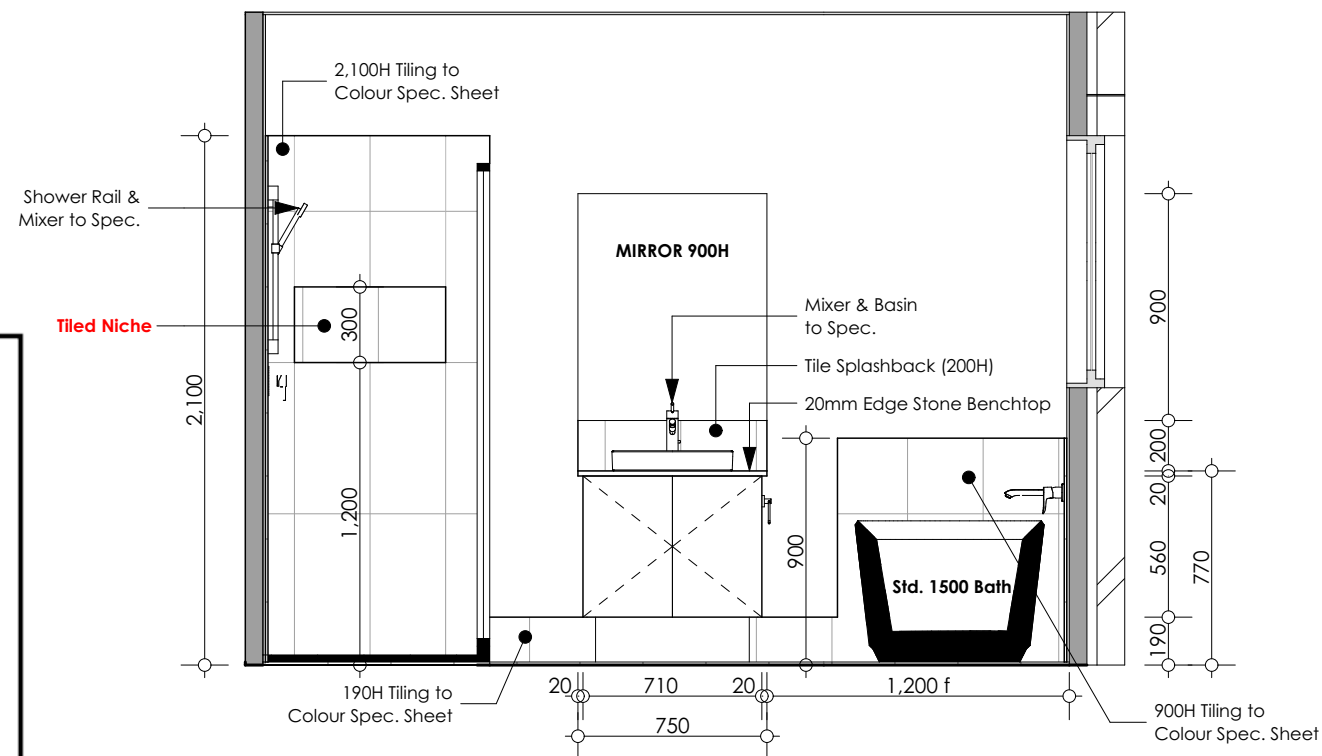
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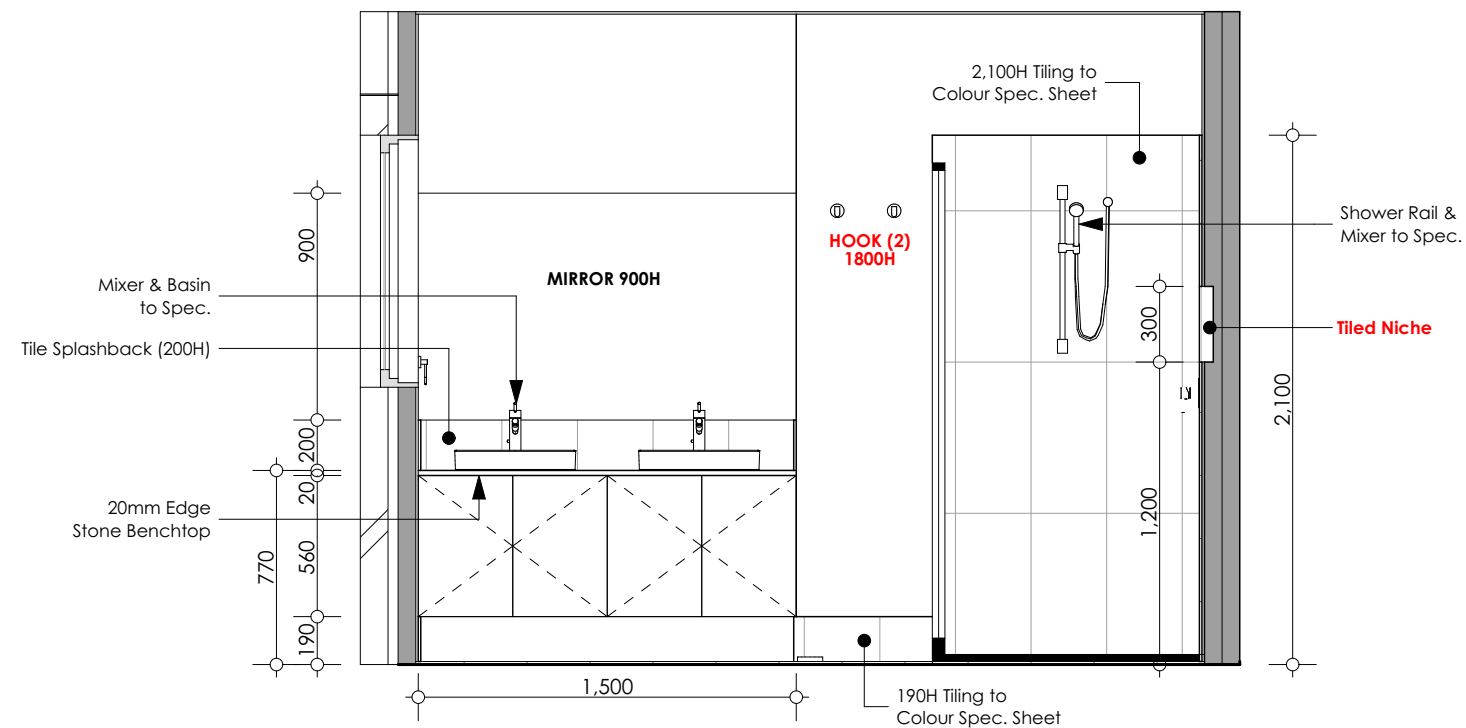
Refer to colour selection for basin type

Benchtops over 3m Long are split into 2 slabs at stone masons discretion

Tile hatch is indicative of material only, tile set-out will be at tilers discretion



01 BTH



01 ENS

Key:
 TR Towel Rail
 HT Hand Towel Hook
 Roll Toilet Roll Holder
 BTW Back to wall Toilet

Typical Notes (UNO):
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Tile trim finish and colour as noted on the colour selection

Smart floor wastes if included are shown on the floor plans

Refer to colour selections for product finishes [Colour]

Shower Niche(s) where included 300Hx600W, sill height 1200H

Mirrors 900H and sized to vanity

Shower Screens 2100H

BTW Toilets to have tiling behind Appx. 1100H

Free Standing bath to have 900H tiling behind and to 900w Returns to sides

190mm High Skirting tile to wet area

Where full height Tiling is included, ceiling is to be Square Set

Builders Range 20mm Stone 500 Deep Benchtops

Alpha Basins Require a 550mm Deep bench and may not fit in some locations

Soft Close doors & drawers throughout

Kickboards to match base cabinetry colour

Handles as specified in colour selection

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8.3_Wet Areas

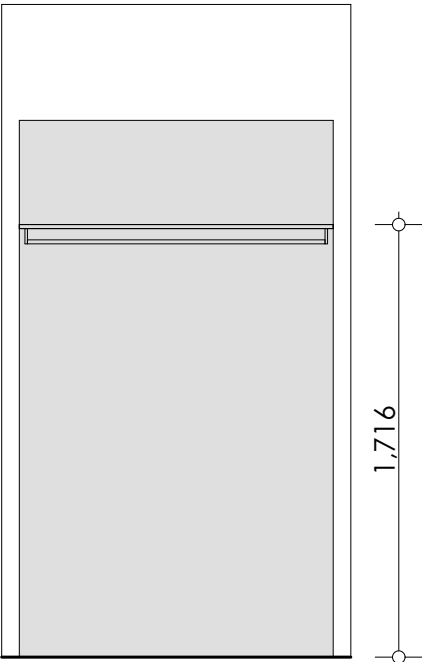
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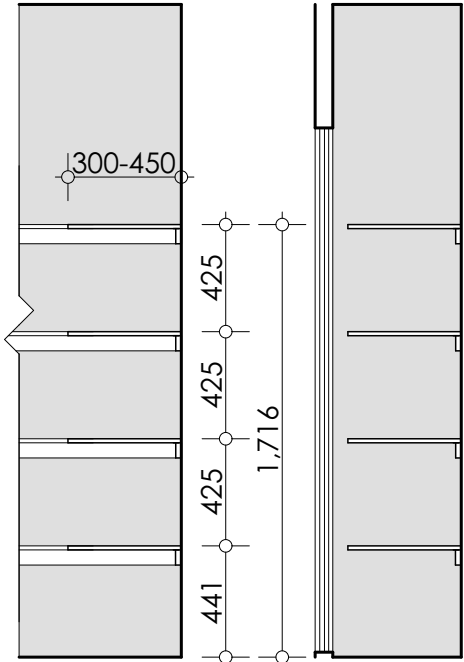
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Typical Details Only

Renderings are not accurate and are for illustration only



Robe (S) - Single Hung



PTY (TYPICAL)

Linen (TYPICAL)





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9.1_Colour Perspectives

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