

RUNAWAY BAY - FITOUT

SK00	COVER PAGE / FINISHES SCHEDULE
SK01	DEMOLITION PLAN
SK02	PROPOSED FLOOR PLAN
SK03	PROPOSED LIGHTING PLAN
SK04	PROJECT IMAGES / SCOPE 01
SK05	PROJECT IMAGES / SCOPE 02
SK06	PROJECT IMAGES / SCOPE 03
SK07	PROJECT IMAGES / SCOPE 04

FINISHES & FIXTURES SCHEDULE:



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ABN 34 118 244 965

CLIENT / PROJECT

DRAWING
COVER PAGE

SCALE	1:100 @ A3	JOB NO.	
DATE	09.06.2022	NOTES	
DWG NO	SK00		
REVISION	00	PLLOT DATE	

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GENERAL NOTES:
CONTRACTOR TO CONFIRM ALL
RELEVANT DIMENSIONS, LEVEL AND
DETAILS ONSITE PRIOR TO
COMMENCEMENT OF WORKS

CONTRACTOR TO REPORT ANY
DISCREPANCIES TO THE DESIGNER
PRIOR TO COMMENCEMENT OF WORKS

CONSTRUCTION TO COMPLY WITH ALL
RELEVANT BUILDING CODES.
STANDARDS OVERRIDE ALL DETAILS IN
THESE DRAWINGS

DO NOT SCALE THE DRAWINGS

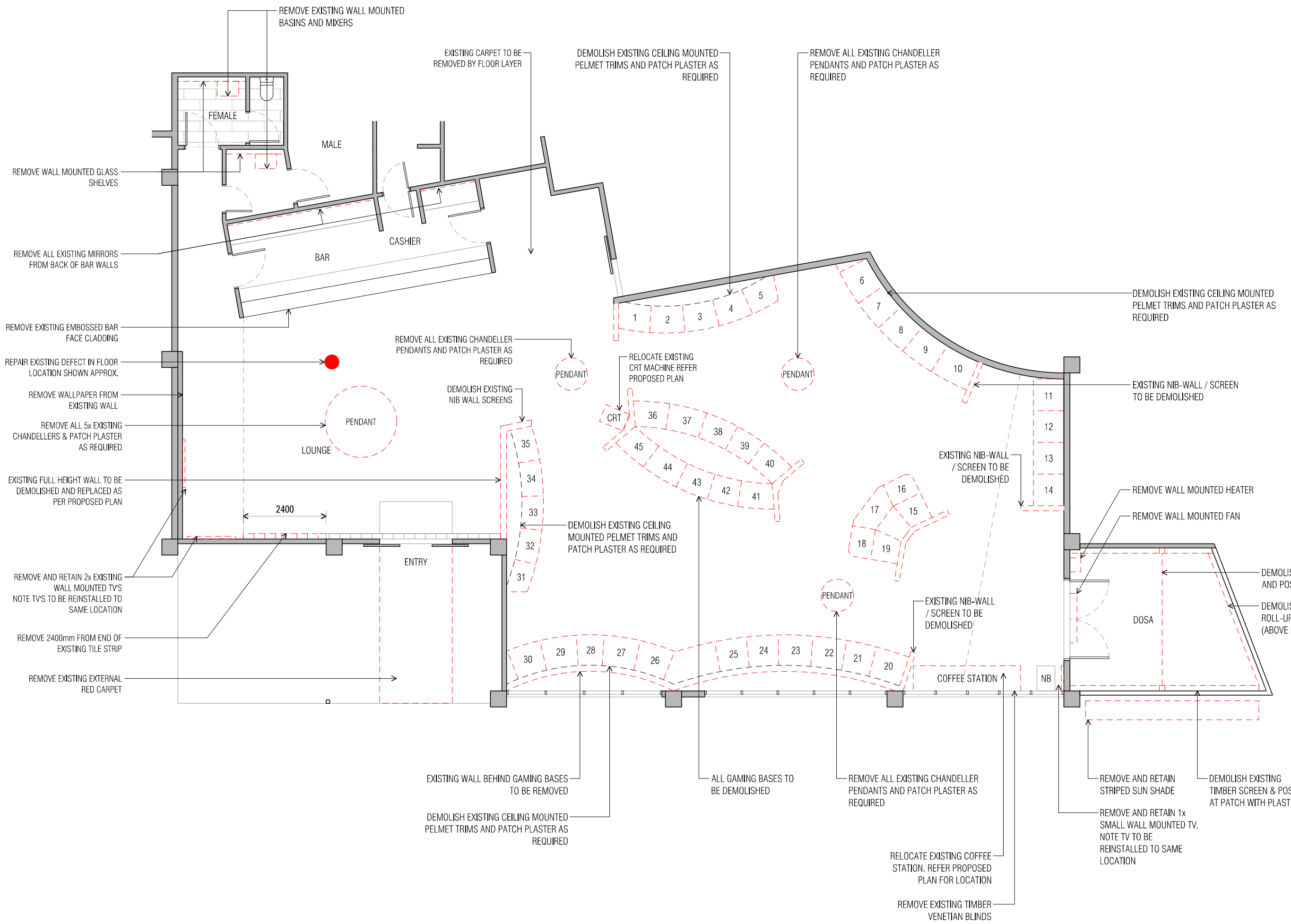
ALL DOORWAYS TO ACHIEVE A
MINIMUM 850mm CLEAR OPENING

ALL PRODUCTS AND EQUIPMENT TO BE
INSTALLED IN ACCORDANCE WITH
MANUFACTURER'S REQUIREMENTS IN A
TRADESMAN LIKE MANNER

CEILING INSTALLATION TO BE
CO-ORDINATED WITH CAT1
CONTRACTORS

ALL SPRINKLERS TO BE IN
ACCORDANCE WITH AS2118

EMERGENCY AND EXIT LIGHTING TO
COMPLY WITH AS/NZS 2293.1 BY
LESSORS CONTRACTOR



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CLIENT / PROJECT
FERRY ROAD - GAMING ROOM

DRAWING EXISTING/DEMO PLAN		
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GENERAL SCOPE:

- NEW CARPET
- PATCH AND REPAINT ALL WALLS
- REPLACE ALL EXISTING DOWNLIGHTS
WITH NEW LED LIGHTS ON DIMMERS
NOTE TEST AND RE-USE EXISTING
DIMMERS WHERE APPLICABLE
- NEW PENDANT/FEATURE LIGHTING.
REFER PROPOSED LIGHTING PLAN



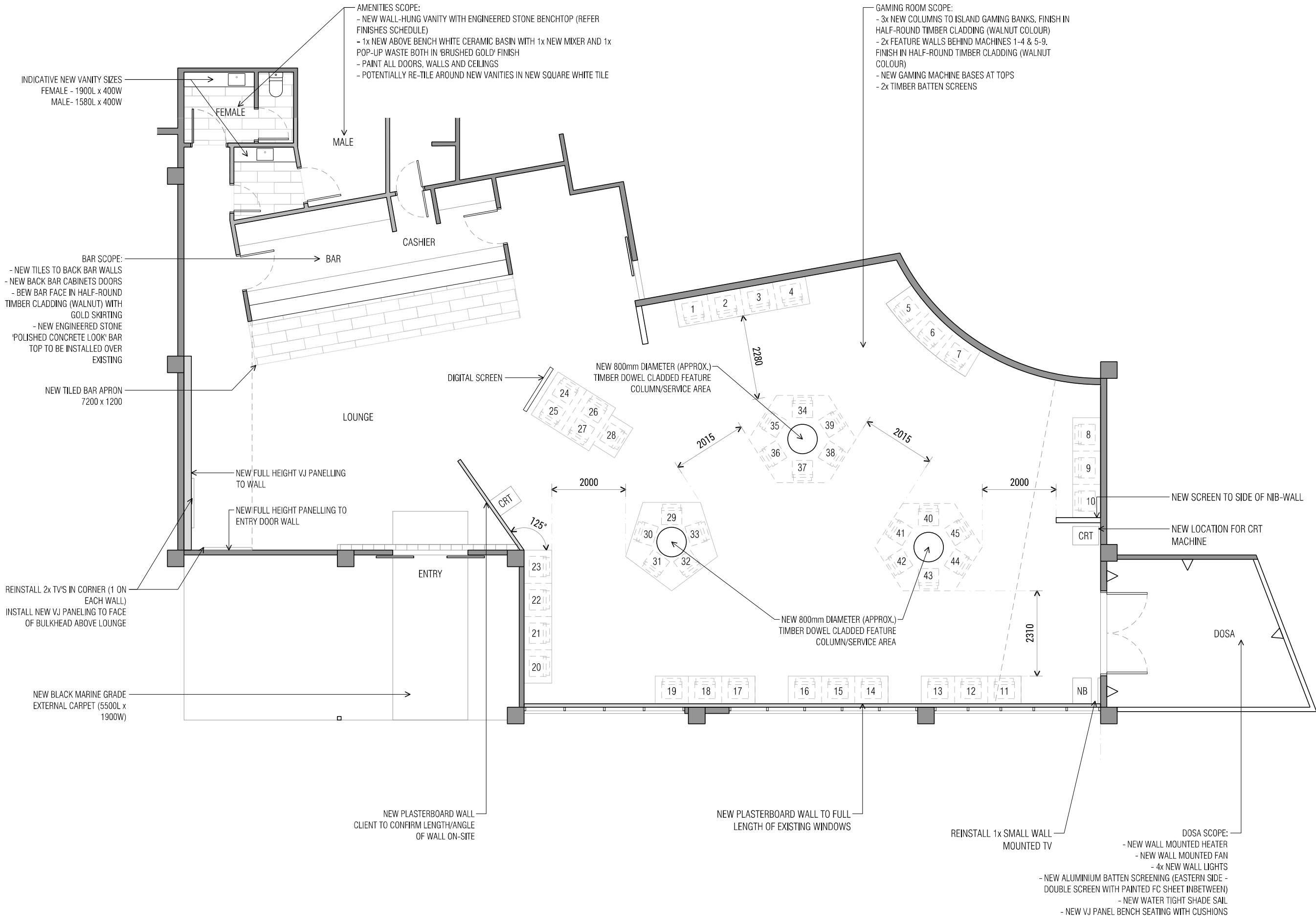
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CLIENT / PROJECT
NEW ROAD CASHIER ROOM
SHOP 1046

DRAWING
PROPOSED LAYOUT PLAN

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EMERGENCY AND EXIT LIGHTING TO
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LESSORS CONTRACTOR

LIGHTING LEGEND:

- P1 - NEW 1-LIGHT RIBBED GLASS
PENDANT
- WL - NEW EXTERNAL WALL
MOUNTED LIGHT
- P2 - NEW CEILING HUNG BAR
FEATURE LIGHT
- WL - NEW EXTERNAL WALL
MOUNTED HEATER
- F - NEW EXTERNAL WALL MOUNTED
FAN
- NEW 800mm DIAMETER (APPROX.)
TIMBER DOWEL CLADDED FEATURE
COLUMN/SERVICE AREA



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FERRY ROAD - GAMING ROOM

DRAWING
PROPOSED LIGHTING PLAN

SCALE 1:100 @ A3

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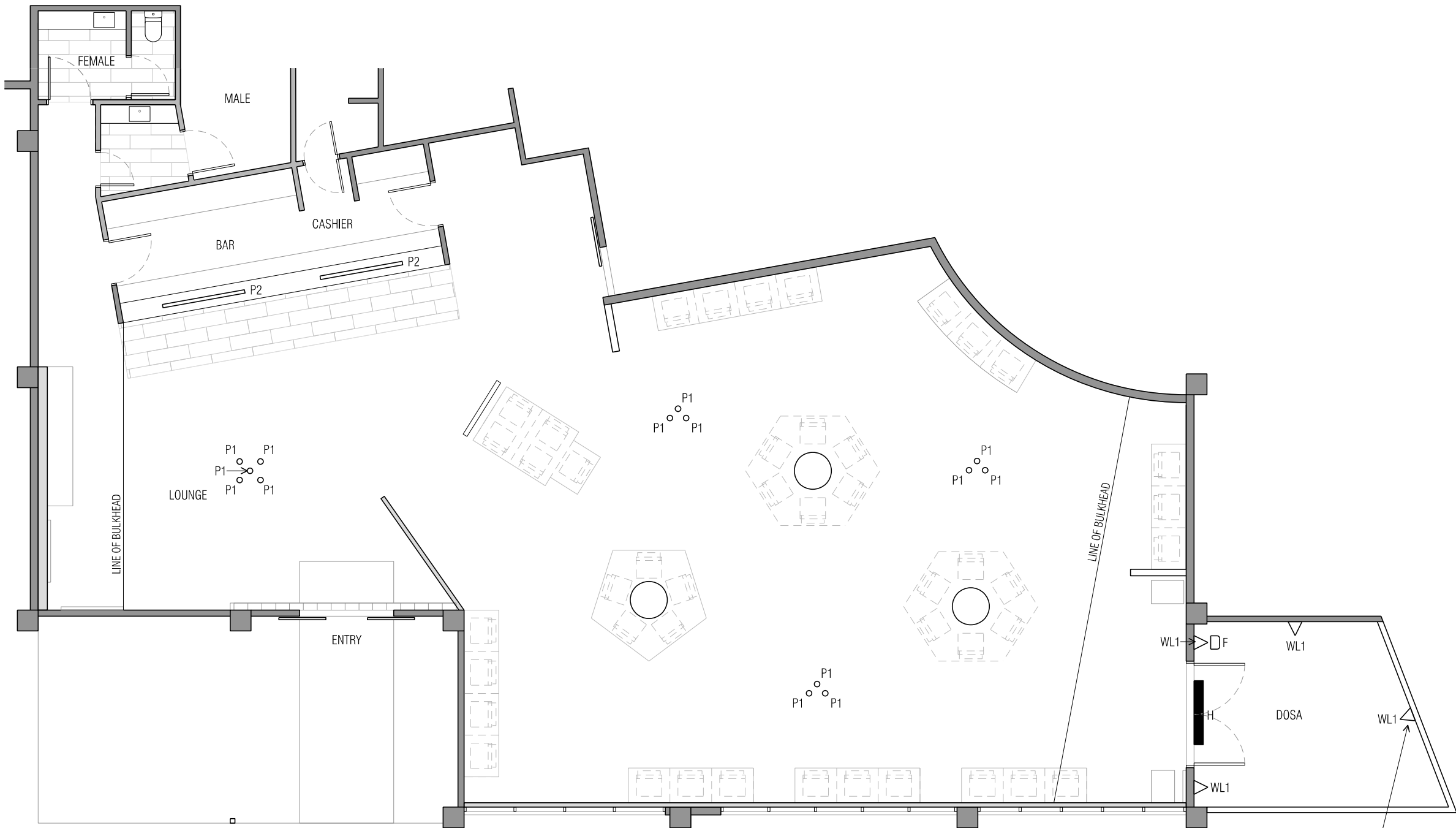
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- GENERAL:
- REPAINT CEILINGS
 - REPLACE ALL EXISTING DOWNLIGHTS WITH NEW LED'S
 - ALL LIGHT CIRCUITS TO BE DIMMABLE (TEST EXISTING DIMMERS & RE-USE EXISTING DIMMERS WHERE APPLICABLE)



LIGHT MOUNTED TO NEW ALUMINIUM SCREEN
NOTE RUN CONDUIT BETWEEN SCREEN AND FC
SHEETING

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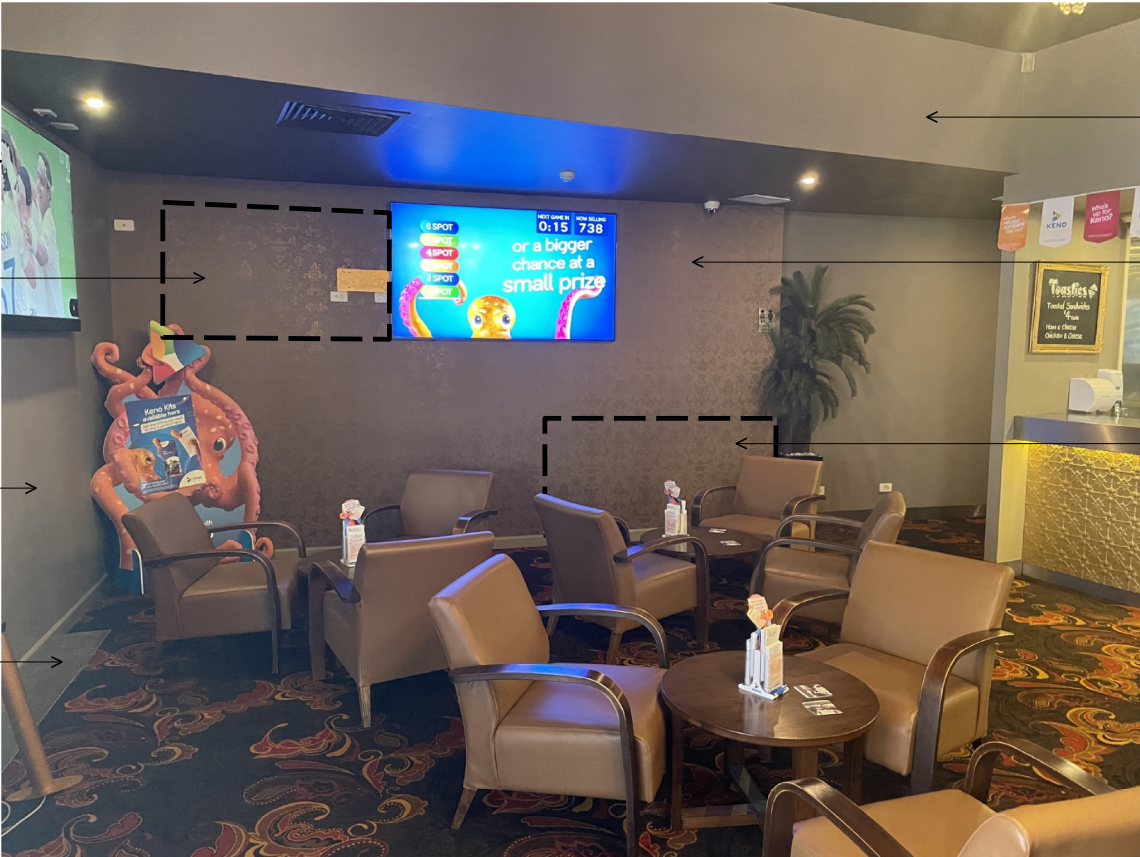
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CLIENT / PROJECT
FERRY ROAD - GAMING ROOM

DRAWING
PROJECT IMAGES / SCOPE 01

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EMERGENCY AND EXIT LIGHTING TO COMPLY WITH AS/NZS 2293.1 BY LESSORS CONTRACTOR



REMOVE EXISTING TIMBER VENETIAN BLINDS

REPATCH AND PAINT WALLS AND CEILINGS

REPLACE ALL EXISTING DOWNLIGHTS WITH NEW LED'S IN SAME LOCATIONS

REMOVE EXISTING CEILING MOUNTED P EMLETS AND TRACKS

REMOVE EXISTING CURBED WALLS AND REPLACE WITH NEW PLASTERBOARD WALL TO FULL HEIGHT OF EXISTING WINDOW

DEMOLISH EXISTING NIB WALL/SCREEN

RELOCATE EXISTING COFFEE STATION TO NEW LOCATION IN LOUNGE (REFER PROPOSED PLAN FOR LOCATION



DEMOLISH ALL EXISTING CHANDELIERS AND REPLACE WITH CLUSTERS OF NEW 1-LIGHT RIBBED GLASS PENDANTS (REFER PROPOSED LIGHTING PLAN FOR LOCATIONS

3x NEW 800mm DIA. (APPROX) TIMBER DOWEL CLADDED FEATURE COLUMN/SERVICES RISER TO BE PUT IN CENTRE OF GAMING BASE ISLANDS REFER PROPOSED PLAN FOR LOCATIONS

DEMOLISH EXISTING NIB WALL/SCREEN

REMOVE AND RETAIN TV SCRTEEN / LIGHT BOXES

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CLIENT / PROJECT
FERRY ROAD - GAMING ROOM

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PROJECT IMAGES / SCOPE 02

SCALE
NTS @ A3

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COMPLY WITH AS/NZS 2293.1 BY
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NEW FULL HEIGHT FEATURE WALLS FINISHED
IN HALF ROUND TIMBER CLADDING
(WALNUT COLOUR)

REMOVE, RETAIN AND REINSTALL GAMING
MACHINES INTO NEW LOCATIONS ON NEW
GAMING BASES (BY OTHERS)

DEMOLISH AND DISPOSE OF ALL EXISTING
GAMING BASES
REFER PROPOSED PLAN FOR NEW GAMING
BASE SHAPES AND LOCATIONS

DEMOLISH EXISTING NIB WALL/SCREEN

REMOVE EXISTING CARPET & UNDERLAY AND
INSTALL NEW UNDERLAY AND CARPET
TYPE: BRINTONS, ANTIPODES - INDIAN WATERLILY



DEMOLISH AND DISPOSE OF EXISTING
GLASS SHELF

INSTALL NEW WALL HUNG VANITY WITH:
ENGINEERED STONE BENCHTOPS
1x NEW ABOVE BENCH WHITE CERAMIC
BASIN
NEW MIXER AND POP-UP WASTE BOTH IN
BRUSHED GOLD FINISH
(REFER FINISHES SCHEDULE)

POTENTIALLY RE-TILE AROUND NEW VANITY IN NEW
SQUARE WHITE TILES

DEMOLISH AND DISPOSE OF EXISTING
BASIN AND MIXER

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CLIENT / PROJECT
FERRY ROAD - GAMING ROOM

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PROJECT IMAGES / SCOPE 03

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DEMOLISH AND DISPOSE OF CLEAR ROLL-UP WEATHER BLIND

PAINTED FC SHEETING TO BE INSTALLED INBETWEEN NEW ALUMINIUM BATTEN SCREENS TO REDUCE NOISE FROM ADJOINING PUBLIC BAR DOSA

REMOVE EXISTING SHADE SAIL AND REPLACE WITH NEW WATER-TIGHT SHADE SAIL (RE-USE STRUCTURE WHERE POSSIBLE)

REMOCE, RETAIN AND REINSTALL STRIPED AWNING BLINDS

REMOVE AND DISPOSE OF EXISTING TIMBER BATTEN SCREENING AND POSTS AND REPLACE WITH NEW ALUMINIUM SCREENING

EXISTING POT PLANTS TO BE RETAINED FOR PLACEMENT ALONG SOUTHERN SCREEN



REMOVE AND DISPOSE OF EXISTING HEATER AND REPLACE WITH NEW WALL MOUNTED HEATER

REMOVE AND DISPOSE OF EXISTING FAN AND REPLACE WITH NEW WALL MOUNTED FAN

INSTALL 4x NEW WALL LIGHTS
REFER PROPOSED LIGHTING PLAN FOR LOCATIONS

REMOVE AND DISPOSE OF EXISTING BENCH SEATING AND REPLACE WITH NEW VJ PANELLED BENCH SEATING WITH CUSHIONS



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CLIENT / PROJECT
FERRY ROAD - GAMING ROOM

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PROJECT IMAGES / SCOPE 04

SCALE NTS @ A3

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