

Evidence 1.2 Variation Document

Thursday, 26 December 2019

7:24 AM



Evidence 1.2 Variation Document

FORM 5

Variation No.
6731/1 - 6

VARIATION DOCUMENT

(Condition 22 of the General Conditions of QBCC New Home Construction Contract)

Note to Contractor: This form, which may be copied for multiple use, must be presented to and signed by the Owner **before** you start any work described in the variation.

To: (Owner/s) EDEN AKKARI & GRACE MOUSSA
(insert name of Owner/s)

From: (Contractor) SandSky Developments

Site Address: Lot 59 Coomera Springs Boulevard Coomera QLD 4209
(insert Site address)

This document is for a variation:
(tick whichever is applicable)

☐ required by law
☐ for extra excavation and foundations
☒ requested by the Owner/Owner's Representative
☐ requested by the Contractor/Contractor's Representative for the following reasons: Due to dual living requirements
(insert reasons)

The change to the Works is as follows: _____

Door between 2 living zones. BEd 1 Robe extended in lieu of linen cupboard
(insert description of the variation including any change to the work or materials required by reason of the variation)

The Contractor's/Contractor's Representative's reasonable estimate of the period of any delay in the Date for Practical Completion that will result from the variation is: 2 business days.

NOTE TO CONTRACTOR/CONTRACTOR'S REPRESENTATIVE:

If the variation causes you actual delay you must also submit a QBCC Form 2 – Extension of Time Claim and Owner's Response to Claim within 10 business days of the delay (see Condition 14).

The variation will change the price payable by the Owner as follows: (tick whichever is applicable)

☒ increase the price by: \$ 1600
(incl. GST)

☐ no change to price

☐ decrease the price by: \$ _____
(incl. GST)

☐ increase/decrease (delete whichever is not applicable) the price by an amount that will be calculated as follows:
(state how the increase/decrease will be calculated)

The increase or decrease (if any change) in the Total Price payable by the Owner as a result of the variation will be taken into account in the Contractor's progress claim for the following Stage described in Schedule Item 10:

Final Claim

(insert description of Stage from Schedule Item 10)

EA

(Owner/Owner's Representative to initial here)

SIGNED: Eden Akkari
(Owner/Owner's Representative to sign)

SIGNED: Rebbie Meadows
(Contractor/Contractor's Representative to sign)

DATED: 23 / 04 / 18
(day) (month) (year)

DATED: 23 / 04 / 18
(day) (month) (year)

When form completed, Contractor to retain original and give 2 legible copies to Owner.

QBCC New Home Construction Contract – November 2013



Evidence 1.2 Variation Email

From: Robbie Meadows

Sent: Thursday, 19 April 2018 3:43 PM

To: Dion Moore ; Lauren Rivera

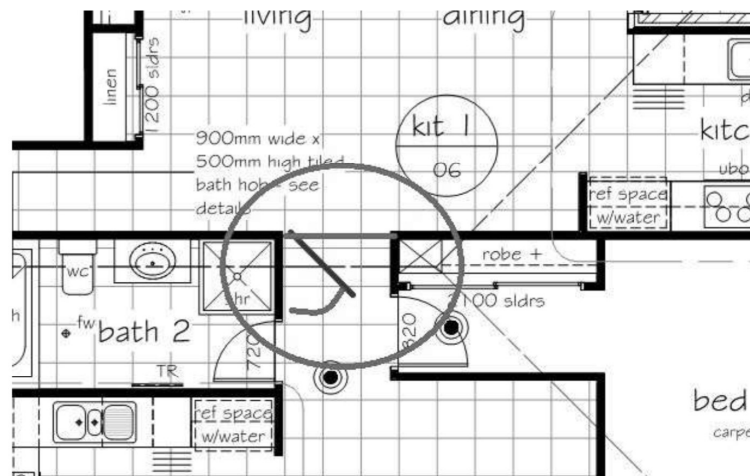
Cc: Duc Tran; Steve Ellis

Subject: Changes on site - Lot 6731 - Lot 59 Coomera Springs Blvd, Upper Coomera

Hi all

Further to our meeting with Dan from Belouis this afternoon, I have spoken with Jarod and confirmed that we will be taking the following action at the property:

- **1. Clients want a door installed between the two living zones –**
- **Dion**, please can you have a drawing done up to show the door, door jamb and head for this area to be sent to the plasterer?
- **Lauren**, we will need Dan to confirm with the clients which side of the door will be lockable.
- **Duc**, we will need a single cylinder deadlock please.



- 2. Clients would like the bed 1 robe extended in lieu of the linen cupboard per below.



Please let me know if you have any questions. Thanks all.

Kind Regards

Robbie Meadows

SandSky Developments

A. 114 Siganto Drive | Helensvale | QLD 4212 | Australia

P. PO Box 3353 | Helensvale TC | QLD 4212 | Australia

T. 1300 655 210 | **F.** 1300 655 230

From: Robbie Meadows

Sent: Friday, 20 April 2018 2:21 PM

To: Dion Moore ; Lauren Rivera

Cc: Duc Tran; Steve Ellis

Subject: Changes on site - Lot 6731 - Lot 59 Coomera Springs Blvd, Upper Coomera

Hi Eden

As discussed with Dan yesterday, please see attached Variation document for signing, and the above sketches of where the linen will be removed and the robe extended, and the door between the 2 living areas installed.

The door will open towards Grace's side, and will lock from your side.

Please let me know if you have any questions.

Kind Regards

Robbie Meadows

SandSky Developments

A. 114 Siganto Drive | Helensvale | QLD 4212 | Australia

P. PO Box 3353 | Helensvale TC | QLD 4212 | Australia

T. 1300 655 210 | **F.** 1300 655 230

From: Eden Akkari

Sent: Tuesday, 24 April 2018 11:10 AM

To: Robbie Meadows

Subject: Re: Changes on site - Lot 6731 - Lot 59 Coomera Springs Blvd, Upper Coomera

Hi Robbie

Thanks for that.

Please find attached the signed variation.

Have a great day.

Eden

From: Robbie Meadows

Sent: Tuesday, 24 April 2018 2:25 PM

To: Dion Moore ; Lauren Rivera

Cc: Duc Tran; Steve Ellis

Subject: Re: Changes on site - Lot 6731 - Lot 59 Coomera Springs Blvd, Upper Coomera

Thanks Eden

Due to the banks requirements re the dual living, we can't install the door until after Final Certification.

This will probably add around a week to the final handover period, as the carpenters will have to install the door, there will be a little bit of plastering and the painters will have to paint the door and trims.

Kind Regards

Robbie Meadows

SandSky Developments

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