

CPCCBC4005A PRODUCE LABOUR AND MATERIAL SCHEDULES FOR ORDERING

THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances, whereby the Participant's answers will be documented by a party other than the Participant. This must be acknowledged in writing (e.g. in the Assessor Comments)
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- Assessors are to complete marking in pen of a different colour to the Participant.
- If a Participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a Participant changes their response in writing, they must put their initials next to the written change.
 - If a Participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name _____

Participant signature _____

Date _____

Assessor name _____

Assessor signature _____

Date _____

Number of questions	Number of questions answered correctly	Task outcome (Tick)	
30		Satisfactory	Not Yet Satisfactory
		☐	☐

Q1. Which of the following contractual requirements will influence orders and labour and material schedules? Tick all that apply.

Answer

Choice	Possible Answers
✓	Commencement date
✓	Completion date
✓	Contract price

☐

Q2. Identify three (3) suppliers and three (3) contractors that you may need to work with when undertaking a building project.

Answer

Suppliers	Contractors
Assessor's discretion. For example: Timber supplier	Assessor's discretion. For example: Plumber
Assessor's discretion For example: Fittings (e.g. lights)	Assessor's discretion. For example: Electrician
Assessor's discretion For example: Nursery for plants	Assessor's discretion. For example: Landscaper

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Q3. Explain the difference between employees and contractors and how they are influenced by scheduling.

Answer

Should resemble: A builder can closely direct work to be undertaken by an employee. Contractors can decide what work they complete and when. As such, it essential that contractors' needs are considered through scheduling.

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Q4. Identify one (1) local government authority and one (1) regulatory body that must be considered when producing schedules.

Answer

Assessor's discretion. Local government authority is the shire/council.
Regulatory bodies may include: Electrical, Environmental, Health, Water

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Q5. Why should colour selections be included on the schedules?

Answer

Assessor's discretion. May include: Some colour requests may require a special order to be made.

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Q6. True or False (Tick your response): If a project is in a heritage protected area, the council may specify the colours that should be used.

Answer

✓	True
	False

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Q7. Identify your local council's requirements regarding working hours and days. Explain how these requirements may affect your schedules.

Answer

Assessor's discretion. For example, if the Council stipulates that construction work can only be carried out between certain days and certain hours, then the schedules will need to meet these requirements, which may cause projects to take longer than expected.

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Q8. Identify three (3) common drawings/specifications commonly used in the industry. Explain what information is provided by each document and how this influences labour and material schedules for ordering.

Answer

Drawing/Specification	Information provided for labour and material schedules
Assessor's discretion. For example: Architectural drawing	Assessor's discretion. For example: Architectural drawings identify the material of construction to be used, heights and measurement of different building components.
Assessor's discretion For example: Excavation drawing	Assessor's discretion. For example: Excavation drawings represent the footing excavation, dimension, column position, footing plan and grid lines of a column. These drawings would identify the types of plant and operators needed.
Assessor's discretion. For example: Electrical drawing	Assessor's discretion. For example: Electrical drawings represent the details of electrical fixtures, location of switches, fans and lights. These drawings would identify the materials, equipment and trades needed.

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Q9. What three (3) things should a builder do when variations are made to a contract for a project?

Answer ☐ Must include: Make changes to the schedule, Notify the suppliers/contractors, Make changes to the call forward sheet

Q10. Identify two (2) variations that may be raised by the client and explain how it would affect the schedules.

Answer ☐

Variation	Effect on schedules
Assessor's discretion. For example: Changing nature of a room, additions/subtractions, colour change, accessibility changes (e.g. wheelchair requirements)	Assessor's discretion. Effects may include: Additional/less materials needed, Additional/less contractors required

Q11. Identify two (2) variations that may be raised by the builder and explain how it would affect the schedules.

Answer ☐

Variation	Effect on schedules
Assessor's discretion. For example: Discovery made when excavating/demolition requiring change to support structure; Weather prohibits work from being completed	Assessor's discretion. Effects may include: More time required, Additional/less materials needed; Contractors required on different days

Q12. Order the following steps from 1 to 5 to outline how a builder should select a supplier/contractor.

Answer

Step Number	Steps
1	Builder to seek quotes from suppliers/contractors
5	Builder to note supplier/contractor details and ordering times on schedule
3	Builder to accept a tender
2	Suppliers/Contractors tender prices back to the builder
4	Parties to sign agreement

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Q13. What is an 'overlay drawing'?

Answer

Should resemble: A drawing that shows further detail on top of any existing plans and specifications. They provide more visual clarity or advice if there have been changes that require subsequent redesign/specialist changes.

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Q14. Which of the following individuals may sketch overlay drawings?
Tick all that apply.

Answer

Choice	Possible Answers
✓	Architects
✓	Builder
✓	Draftsmen
✓	Engineers

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Q15. Identify three (3) details that should be included on a work order and reflected on the labour schedule.

Answer

Should resemble: Work required (including location and extent of works)
Time period
Agreed rates

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Q16. Identify nine (9) details that should be included on a purchase order.

Answer

1. Order date and delivery date

2. Purchase order number

3. Supplier details

4. Delivery dates

5. Supplier contact information

6. Project manager details

7. Product description

8. Terms and conditions

9. Total order cost

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Q17. What is a 'call forward sheet'?

Answer

Should resemble: It is a document which indicates the dates to place orders and delivery dates.

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Q18. True or False (Tick your response): A builder would usually complete all the purchase orders before preparing a call forward sheet.

Answer

✓	True
	False

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Q19. Identify two (2) approved plans that should be included with the site documents.

Answer

Assessor's discretion. May include; Architectural plans, Land survey, Service locations map

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Q20. Match the site files and definitions below by writing the appropriate letter next to each number in the centre column.

Answer	Document	Answers	Definition	
	1 Permits	1 - B	A May include engineering data	
	2 Quotes	2 - E	B Council inspectors may issue a stop work notice until these documents are produced	
	3 Reports	3 - A	C Changes requested using a standard form in writing. Need to be signed by both builder and client.	
	4 Specifications	4 - D	D List the materials to be used, fittings and fixtures to be installed, and types of finishing required.	
	5 Variations	5 - C	E Used to ensure purchase orders are developed using the correct price.	

Q21. In the table below, estimates for labour and actual costs for each trade are listed. Calculate the cost difference for each trade.

Answer	Trade	Estimate	Actual cost	Cost difference	
	Carpentry	10,000	8,500	-1,500	
	Electrical	3,000	4,250	1,250	
	Painting	4,000	3,900	-100	
	Plumbing	8,000	8,000	0	
	Tiler	4,500	4,750	250	

Q22. In the table below, the Prime Cost (PC) sums from a contract and actual costs for items are listed. Calculate the cost difference for each item.

Answer	Item	PC sum	Actual cost	Cost difference	
	Basin taps	100	130	30	
	Oven	2,500	1,500	-1000	
	Rangehood	500	900	400	
	Shower bases	250	265	15	
	Shower screen	400	350	-50	
	Shower taps	150	120	-30	
	Stove	900	1,200	300	

- Q23. Where the actual costs are higher than the estimated costs due to a client variation, who is responsible to pay the difference?
Tick your response.

Answer	Choice	Possible Answers	☐
		Builder	
	✓	Client	
		Supplier	

- Q24. Where the actual costs are higher than the estimated costs due to price increases of materials, who is responsible to pay the difference?
Tick your response.

Answer	Choice	Possible Answers	☐
	✓	Builder	
		Client	
		Supplier	

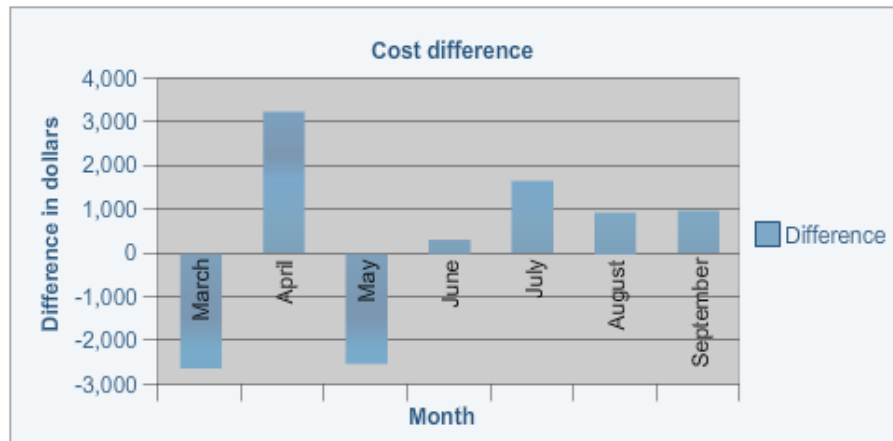
- Q25. You are given the following table containing the costs for each month of the project.

Month	Estimated cost	Actual cost
March	\$36,450	\$38,980
April	\$65,560	\$62,350
May	\$62,450	\$64,960
June	\$61,340	\$61,050
July	\$40,590	\$38,990
August	\$42,650	\$42,550
September	\$35,780	\$34,750
Total	\$344,820	\$343,630

Using the information in this table, how would you find out in which month the builder actually spent the most? Tick your response.

Answer	Choice	Possible Answers	☐
		Plot both the estimated and actual costs on a graph	
	✓	Plot the actual cost on a graph	
		Work out the difference between the estimated and actual costs	

Q26. The following graph is a visual representation of the difference in each month.



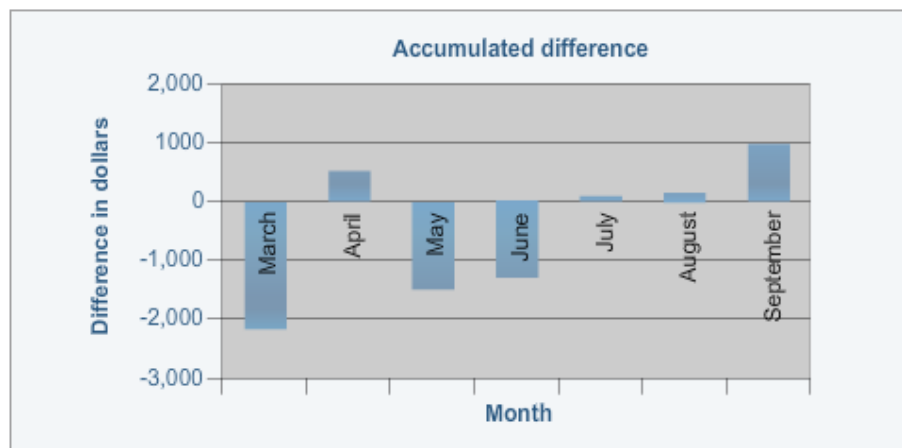
By looking at this graph can you see if the overall project was overestimated or underestimated? Tick your response.

Answer

Choice	Possible Answers
✓	No, you cannot see this directly from the graph
	Yes, you can see this from the graph

☐

Q27. The following graph is a visual representation of the accumulated difference across the project.



Overall, was the project overestimated or underestimated? Tick your response.

Answer

Choice	Possible Answers
✓	Overestimated
	Underestimated

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Refer to the following scenario and house plan to respond to Q28. to Q30.

SCENARIO

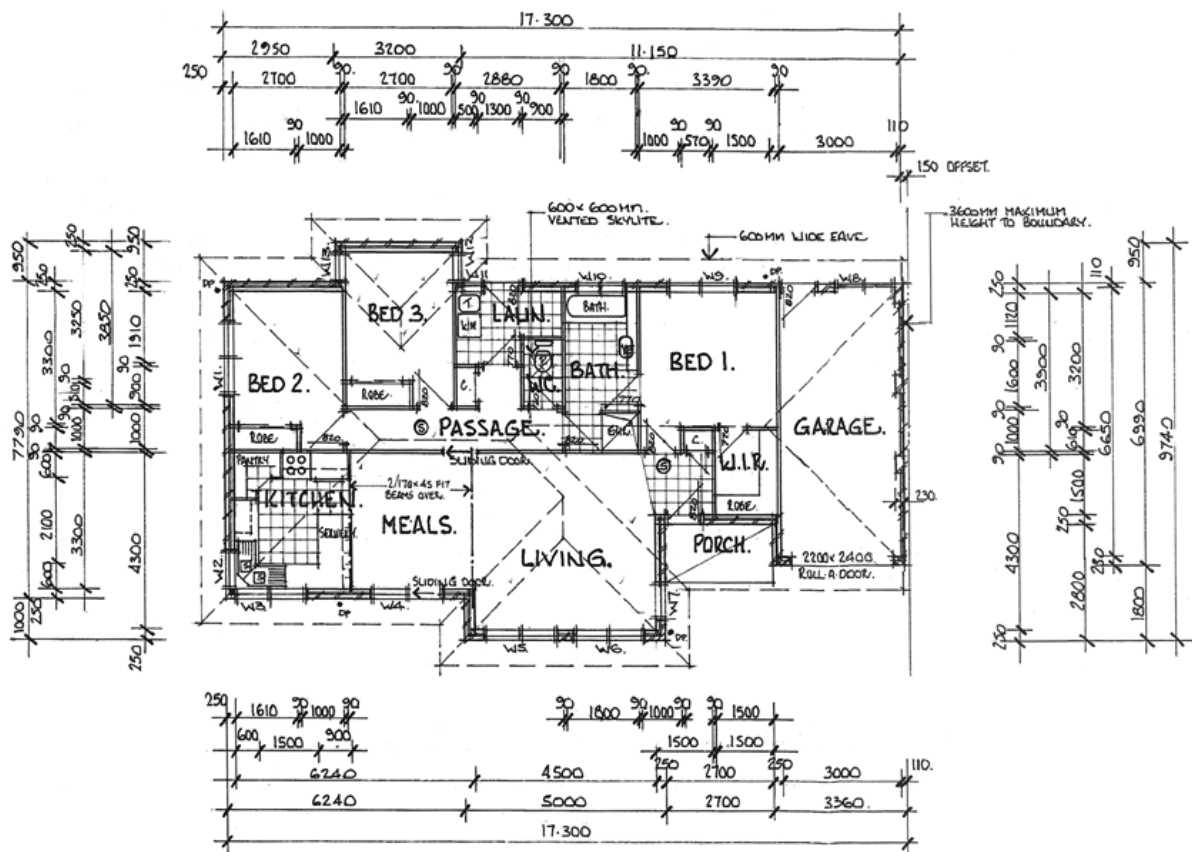
You are a site supervisor of a small residential project, as outlined below:

- The building is to be constructed using brick veneer.
- The building has a floor area of 133 square metres including garage.
- The concrete slab floor with garage floor is incorporated.
- The building will be constructed using hand built wall frame and prefabricated roof trusses.
- The building will have a cement tiled roof and powder coated aluminium windows in timber reveals.
- The driveway and landscaping are to be provided.
- Services are available directly in front of the site.
- The site is almost flat and will only need a scrape with minimal excavation.
- The contract period is 120 days.
- The total job has been pre-costed at \$136,500.

Note: You are not required to estimate the quantity required.

FLOOR AREA:

PROPOSED RESIDENCE	111.59 SQ.M.	1200 SQ. FT.
PROPOSED GARAGE	21.74 SQ.M.	234 SQ. FT.



Q28. Using the list of materials prepared, find the following information for four (4) materials of your choice:

Answer

Material	Lead-in time	Delivery date	Order date	Delivery requirements/ special considerations
Assessor's discretion				
Assessor's discretion				
Assessor's discretion				
Assessor's discretion				



Q29. Describe the process of ordering the following materials for your project. Be sure to consider the things that need to be considered:

Answer

Material	Ordering process	Considerations
External cladding	Assessor's discretion	Assessor's discretion
Wall frame	Assessor's discretion	Assessor's discretion
Windows	Assessor's discretion	Assessor's discretion



Q30. While excavating one corner of the project, you find the soil below is unsuitable for supporting the foundation. Refer to the relevant Building Regulator and complete their standard builder variation request documentation to be presented to the client.

Answer

Documentation to be submitted by student (e.g. Form 5 – QBCC)

