

CPCBC4014A

PREPARE SIMPLE BUILDING SKETCHES AND DRAWINGS

THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances. Answers will be documented and FT003 (Oral examination declaration form) must be completed.
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- If a participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a participant changes their response in writing, they must put their initials next to the written change.
 - If a participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name

WALE DARLING

Participant signature

Wale

Assessor name

Assessor signature

Date

~~Click here to enter a date.~~ 9.12.2018

Number of questions	Number of questions answered correctly	Satisfactory?	
		Yes	No
12		☐	☐



ASSESSOR COMMENTS

SECTION A-A

SCALE 1:50

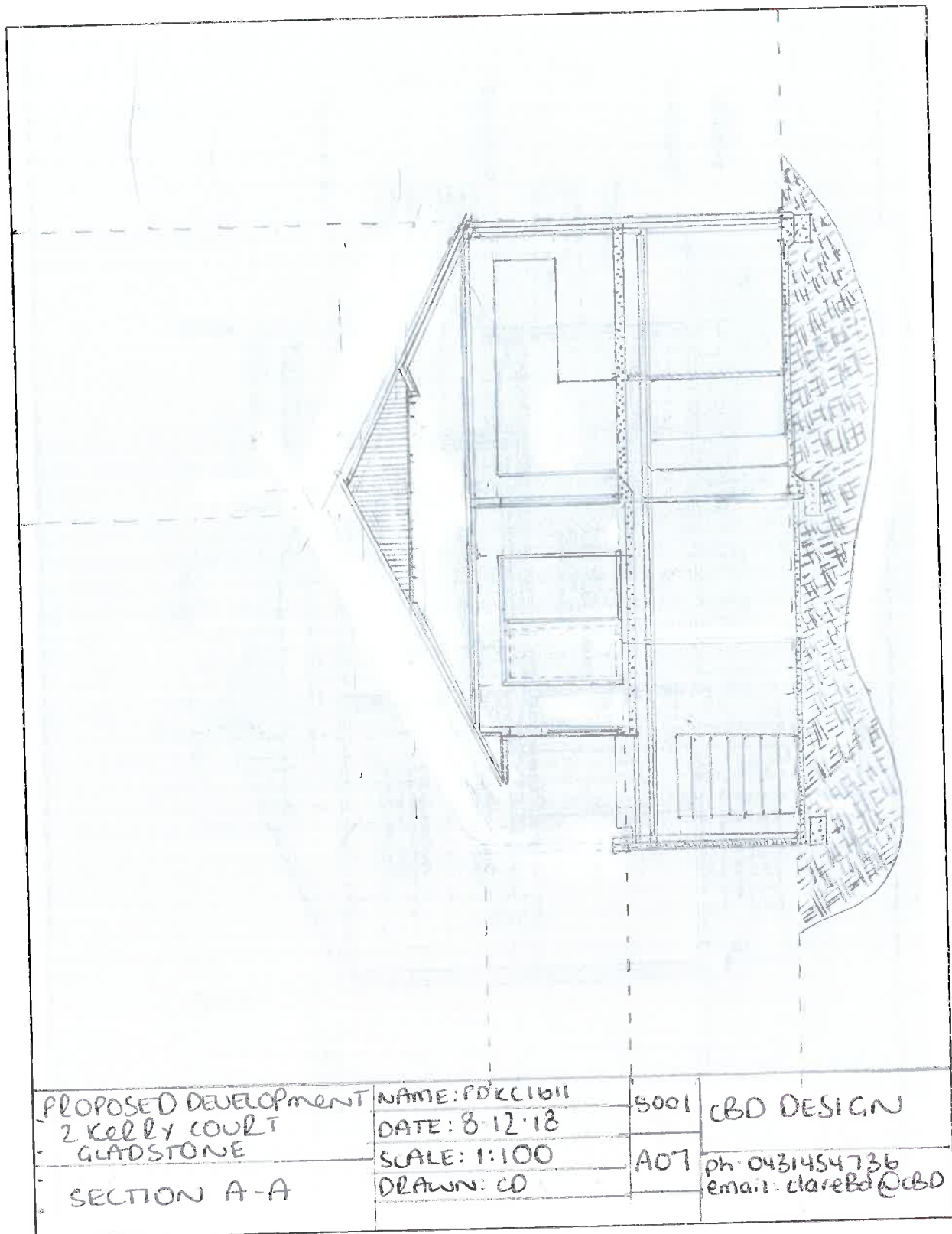
PROPOSED DEVELOPMENT
170a FRENCH STREET
TUART HILL

Name:	GOPCEVIC	Project:	5800
Date:	10.09.08	Dwg No.	A06
Scale:	1:50		
Drawn:	BK		

BK design

ph: 041 070 8003
email: bkdesign@inet.net.au

Q1. Reproduce the Section Drawing. Apply dimensions using an appropriate scale and insert your own Title Block.



Answer



Q2. Write a paragraph or two sufficient to explain this dwelling's sectional view to a client or trade contractor.

Answer

THE SECTIONAL VIEW IS OF A TWO STOREY HOME BUILT ON A CONCRETE SLAB OVER COMPACT FILL. THE EXTERIOR BEING RENDERED BRICKWORK AND FRAMING, SOLID STRUCTURAL STEEL. TIMBER ~~ROOF~~ ROOF FRAMEWORK SHEETED WITH COLORBOND ROOFING BUILT TO AUSTRALIAN STANDARDS. INTERIOR BEING 10mm ~~FF~~ FLUSH GYPLOCK PLASTERBOARD, FIXED TO A SUSPENDED FRAMING SYSTEM, FINISHED WITH PLASTER CORNICE. ALL HARDWALL PLASTER FINISHED WITH PAINT. SECTIONAL DRAWING IS DRAWN TO A 1:50 SCALE.

Refer to the floor plan below to respond to Q3. to Q12.

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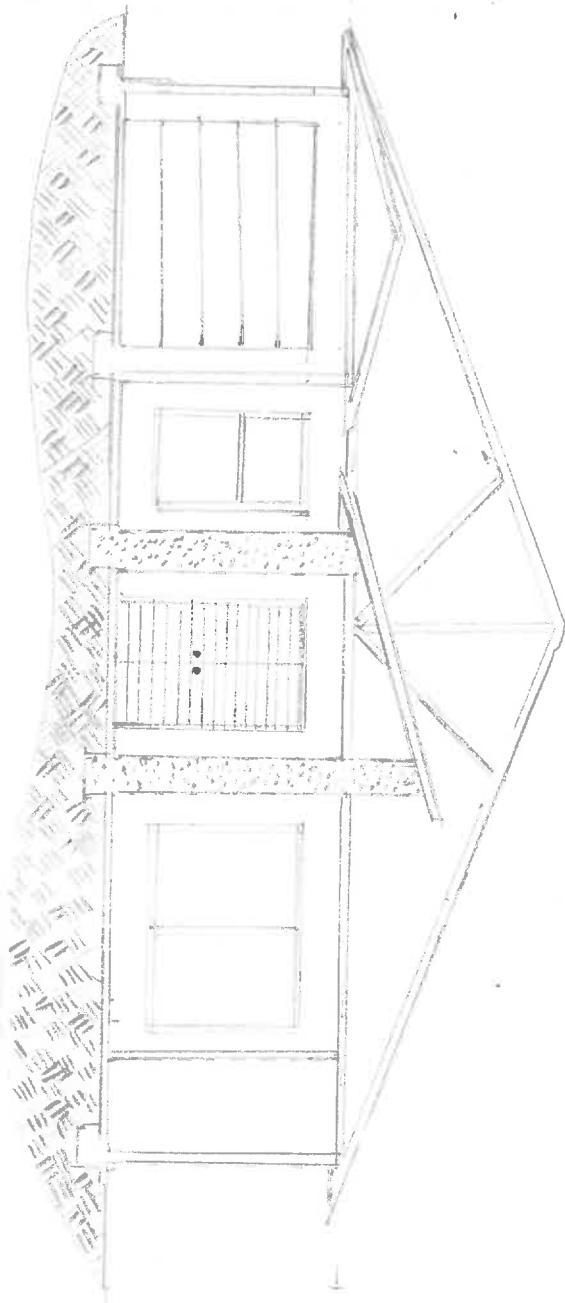


SUITS 18.8 M WIDE SITE TOTAL AREA 274 SQM

Designer Range

Q3. Use the floor plan to create your own title block and produce the North, South, East and West Elevations.

- Determine your own finished ceiling height and aluminium window and door sizes appropriate to the scale of the rooms and building (and applicable standards/codes).
- Assume it is slab on ground, rendered brick veneer construction, timber trussed roof and concrete roof tiles; metal fascia and gutters, driveway and paths are exposed aggregate.



PROPOSED DEVELOPMENT
2 KELLY COURT, NA

NAME: PDKCCBD

PROJECT

5001 CBD DESIGN

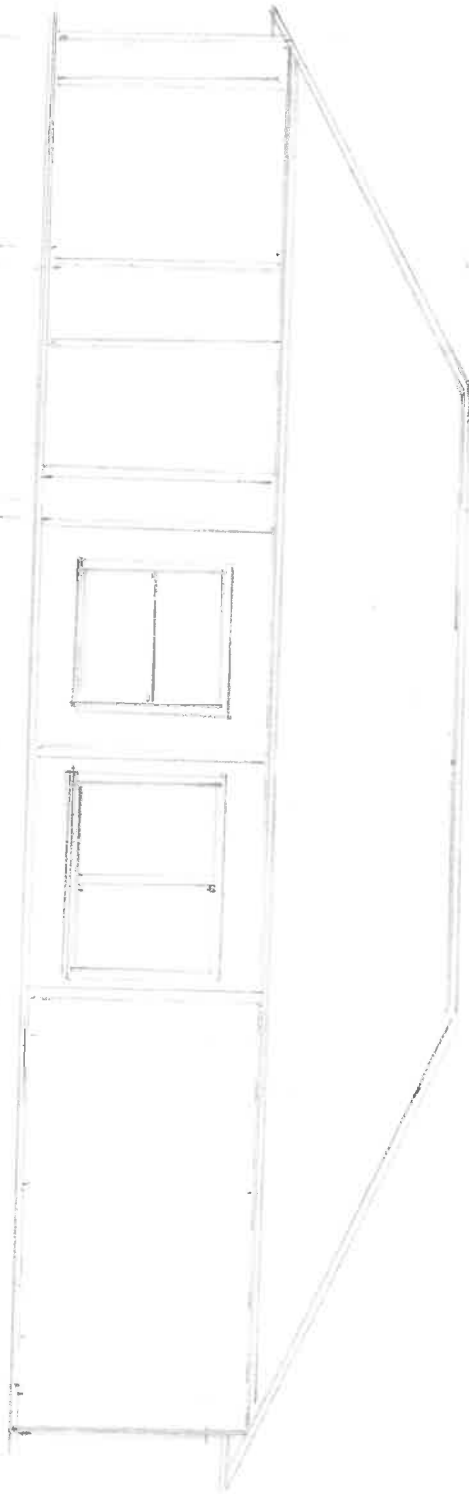
DATE: 9.12.18

ELEVATIONS
SECTION A-A

SCALE: 1:100

DWG NO. ph: 0431454736
A01 email: cbddes.gn.com

DRAWN: CBD



PROPOSED DEVELOPMENT
2 KELLY COULT, NA

NAME: PDXCCBD

DATE: 9.12.18

SCALE: 1:100

DRAWN: CBD

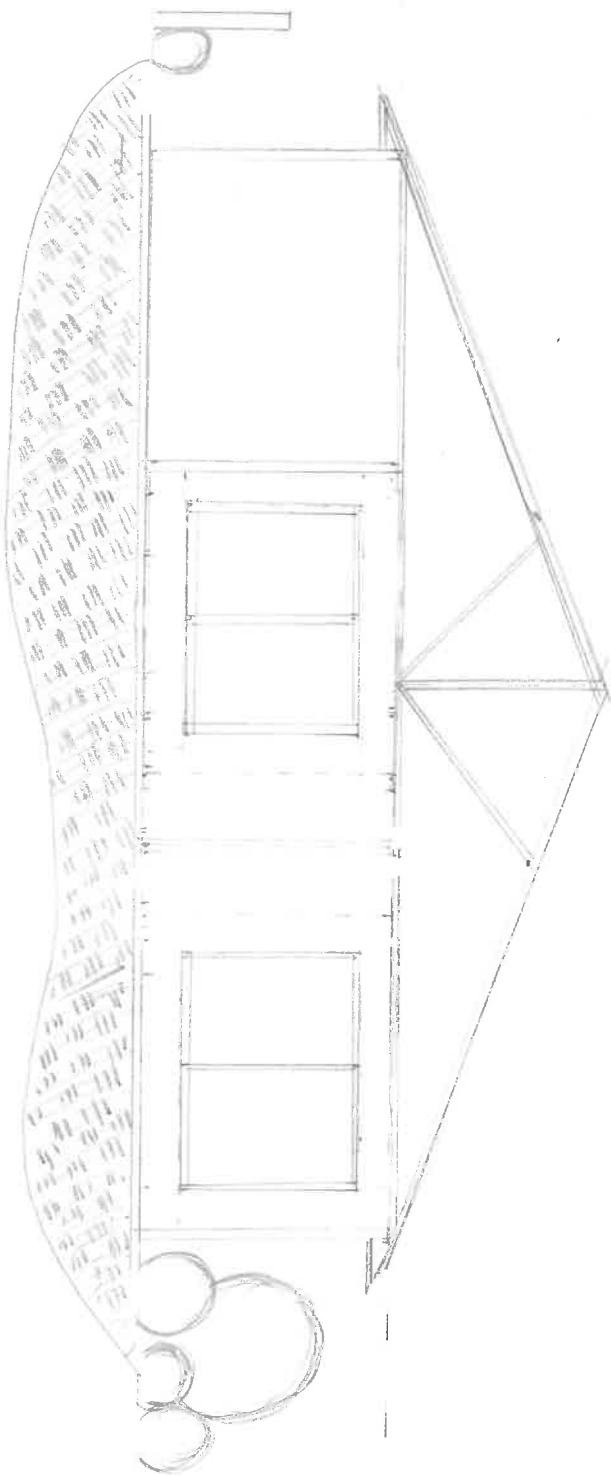
ELEVATIONS
SECTION A-B

PROJECT

5001 CBD DESIGN

DWG NO ph: 0431454736

A02 email: cbddesign.com



PROPOSED DEVELOPMENT
2 KELLY COURT, NA

NAME: PDXCCBD

DATE: 9.12.18

SCALE: 1:100

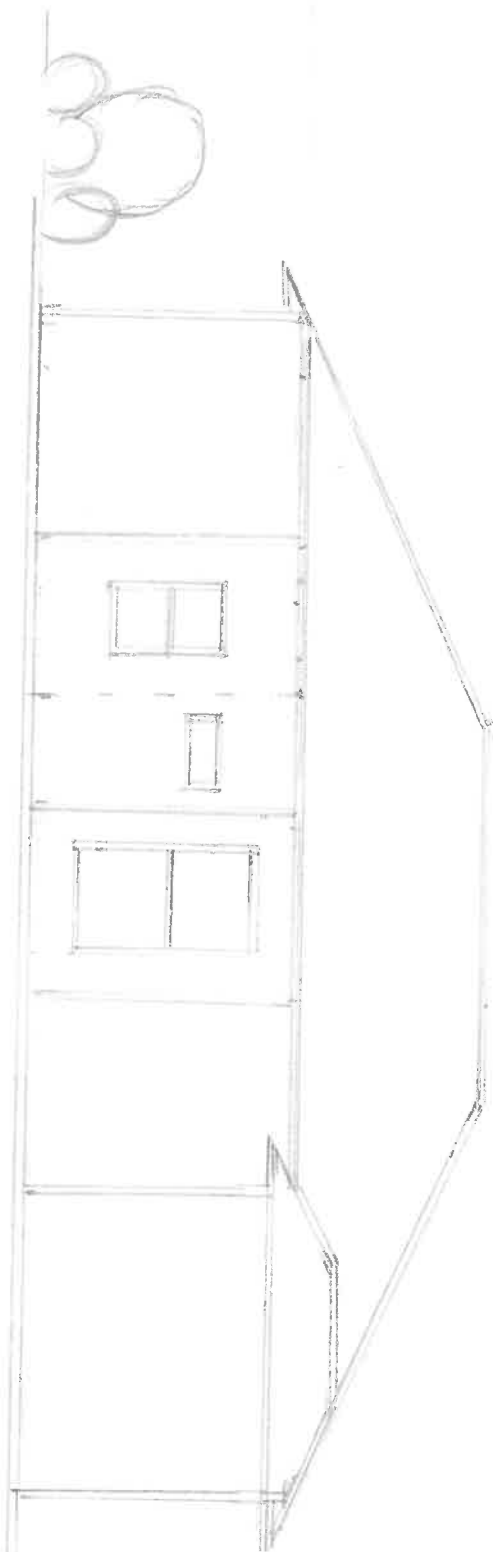
DRAWN: CBD

PROJECT

5001 CBD DESIGN

AWC NO ph: 0431454736
A03 email: cbddesign.com

ELEVATIONS
SECTION A-C



PROPOSED DEVELOPMENT
2 KELLY COURT, NA

NAME: PDKCCBD

DATE: 9.12.18

SCALE: 1:100

DRAWN: CBD

PROJECT

5001

CBD DESIGN

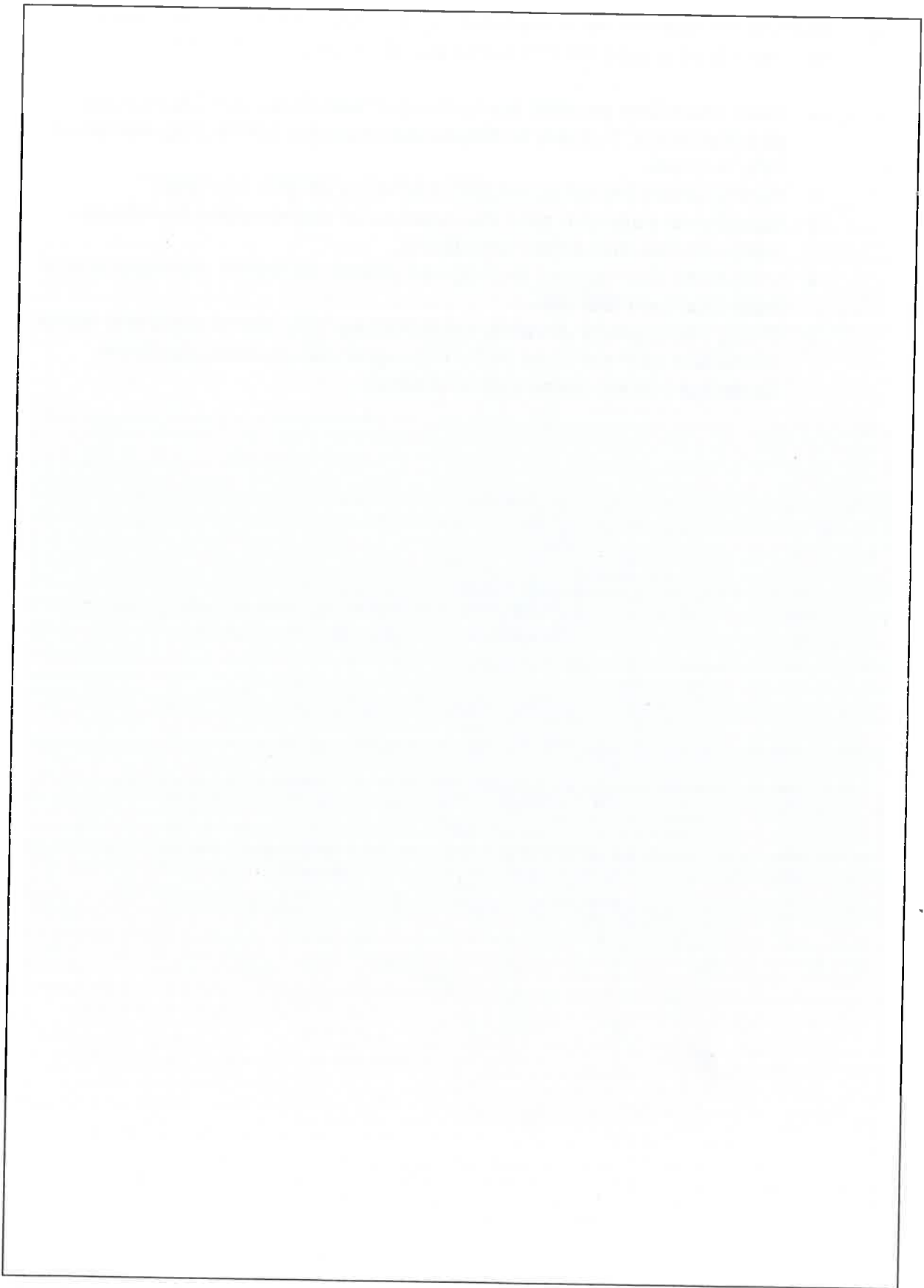
AWARD

ph: 0431454736

A04

email: cBddesign.com

ELEVATIONS
SECTION A-D

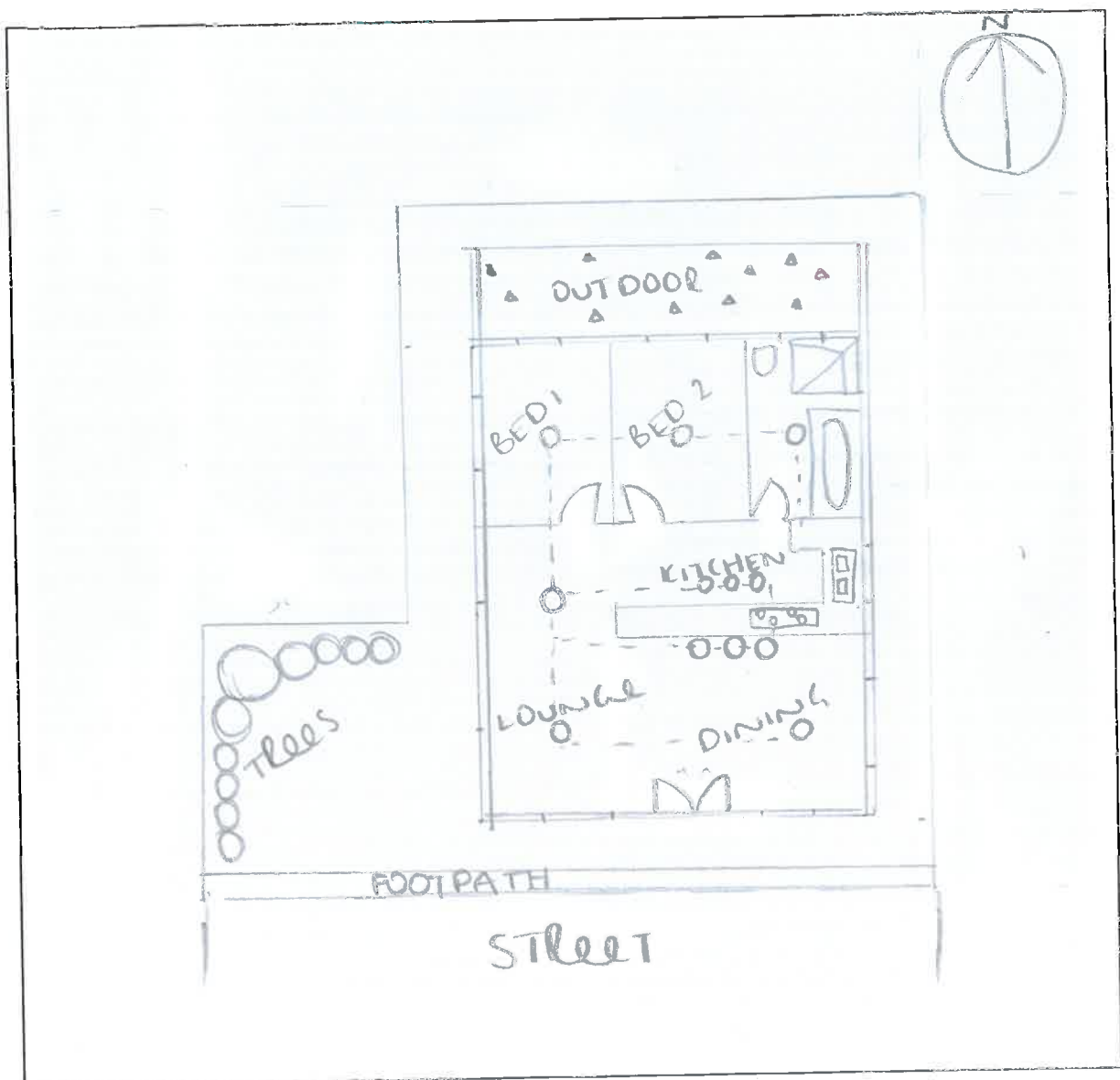


Answer



Q4. Identify an address with fictitious house and lot number and the block of land and land shape for the home and then create a Site Plan.

- Your boundary set offs are to accord with Brisbane City Council requirements. You are to determine these by contacting Brisbane City Council.
- Clearly mark the direction and contours on this site plan.
- Identify on your site plan the location of any existing buildings, trees, fences and other structures.
- Determine the ingress and egress points for traffic management to, from and over the site.
- Using appropriate drawing conventions, you are to mark the location of utilities and services including water, telecommunications, sewerage, storm water and electrical.



Answer



Q5. Referring to the floor plan, create a windows and doors schedule.

11 x DOORS - SINGLE, TIMBER, 9 INTERIOR, 2 EXT.

22 x HINGES

11 x HANDLES

11 x DOORSTOPS

6 x DOOR LOCKS (ENTRANCE, LAUNDRY DOOR, POWDER ROOM, BATHROOM, ENSUITE TOILET DOOR, GARAGE DOOR)

DOORS AND LOCKS TO BE PURCHASED FROM DOORS PLUS

CODE: DOOT1

MANUFACTURED: AUS MADE

NAME: ANESTALIA

DIMENSIONS: 2040 x 520 x 35mm

9 x WINDOWS

7 x 1.8m x 2m (BEDROOM, LOUNGE, DINING ETC)

2 x 60 x 60cm (ENSUITE)

PREMIUM SMART SOLUTION

CODE: WIND47

DOUBLE GLAZED

SOLAR BLOCK

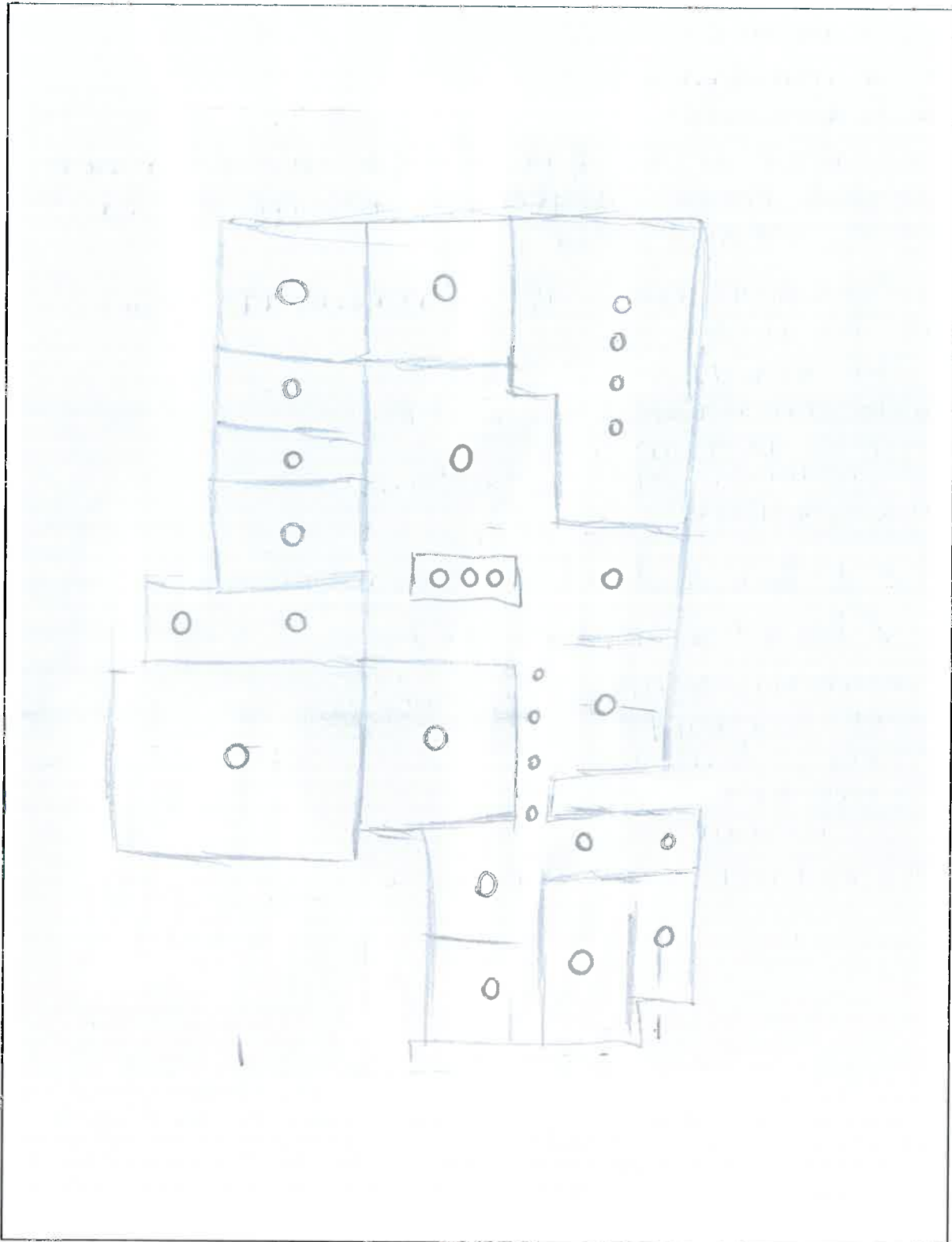
SOUND SMART

9 x MULTIPLE LOCK FOR ALL WINDOWS

Answer



- Q6. Referring to the floor plan, create a lighting plan and determine single and double GPO locations to be used as a guide by your electrical sub-contractor for a preliminary wiring quote.

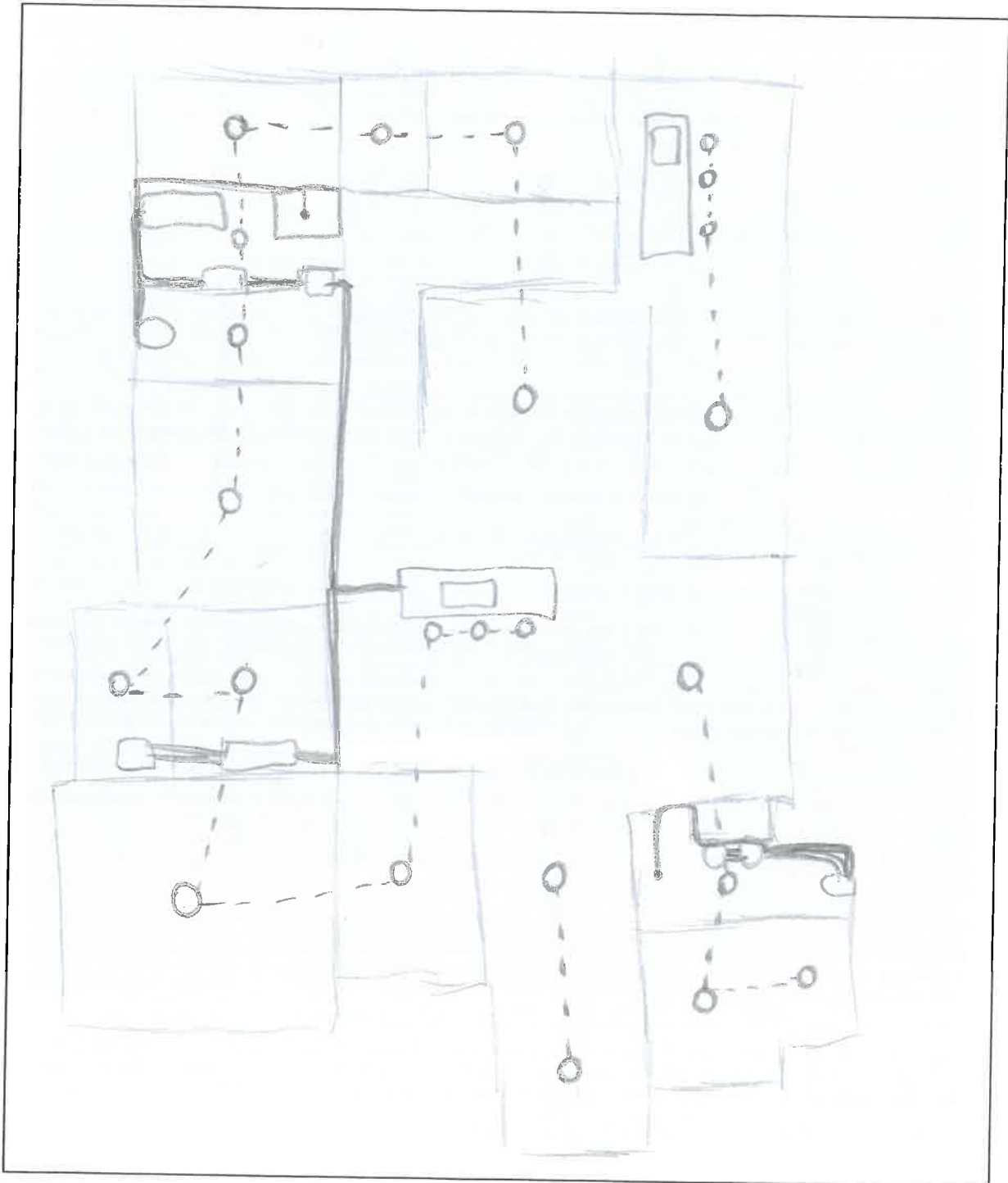


Answer



- Q7. Draw a schematic preparatory drawing of all pipework (including sewerage, plumbing, electrical and other services).

To assist with determining the location and installation details for all the in-ground and under-slab services (i.e. prior to pouring of the foundations and concrete slab), refer to the floor plan and the site plan you developed in 0

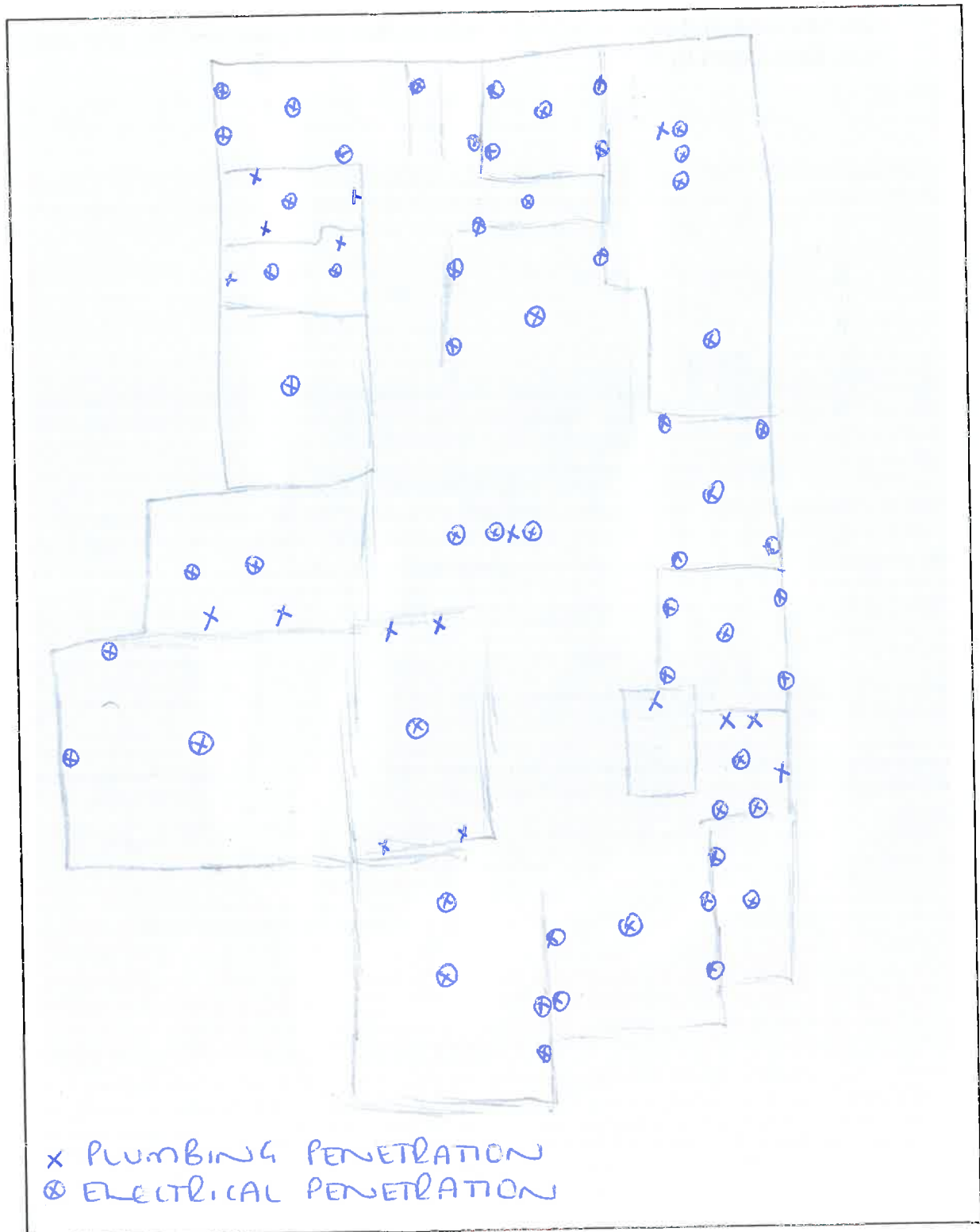


Answer



- Q8. Identify all internal and external wall penetrations and create a schedule and sketch to be provided to each of the affected trade sub-contractors.

Refer to the drawings in Q3. and 0to assist with this task.



Answer



GARAGE;

- 2 x POWERPOINT
- 1 x PENETRATION FOR LIGHT FIXTURE PORCH/FOYER;
- 2 x POWERPOINT (FOYER)
- 2 x PENETRATION FOR LIGHT FIXTURE MASTER SUITE/WIR;
- 4 x POWERPOINT
- 2 x PENETRATION FOR LIGHT FIXTURE ENSUITE;
- 5 x PENETRATIONS FOR PLUMBING
- 2 x PENETRATION FOR LIGHT FIXTURE STUDY/BED 2;
- 1 x PENETRATION FOR LIGHTING
- 4 x POWERPOINT

DINING;

- 1 x PENETRATION FOR LIGHT FIXTURE
- 4 x POWERPOINT

OUTDOOR LIVING;

- 2 x PENETRATION FOR LIGHT FIXTURE
- 4 x POWERPOINT

LIVING;

- 1 x PENETRATION FOR LIGHT FIXTURE
- 4 x POWERPOINT

BED 3, 4 + 5

- 1 x PENETRATION FOR LIGHT FIXTURE
- 4 x POWERPOINT

BATHROOM;

- 6 x PLUMBING PENETRATION
- 1 x PENETRATION FOR LIGHT FIXTURE

2 x POWERPOINT

LAUNDRY;

3 x PLUMBING PENETRATION

1 x PENETRATION FOR LIGHT FIXTURE

2 x POWERPOINT

SCULLERY;

1 x PLUMBING PENETRATION

1 x PENETRATION FOR LIGHT FIXTURE

2 x POWERPOINT

KITCHEN,

3 x PENETRATION FOR 3 x LIGHT FIXTURES OVER
KITCHEN BENCH

4 x POWERPOINT

2 x ELECTRICAL PENETRATION (WIRING COOKTOP ETC)

2 x PLUMBING PENETRATION



- Q9. Your client has approached you seeking consideration to redesign the area of the laundry, scullery and Bedroom 5. They are considering foregoing Bedroom 5 altogether and increasing the scullery to make it a large butler's walk-in pantry and essentially leaving the laundry as is.

They have asked you to redesign this area of the home and have agreed to pay you for it separately. You have agreed to terms in this regard. You have agreed you will prepare formal floor plan sketch/es of this area redesigned for discussion with the client in two weeks' time.

You are to also present a pros and cons written argument for the client to help them determine if they should proceed with this variation.

TIPS

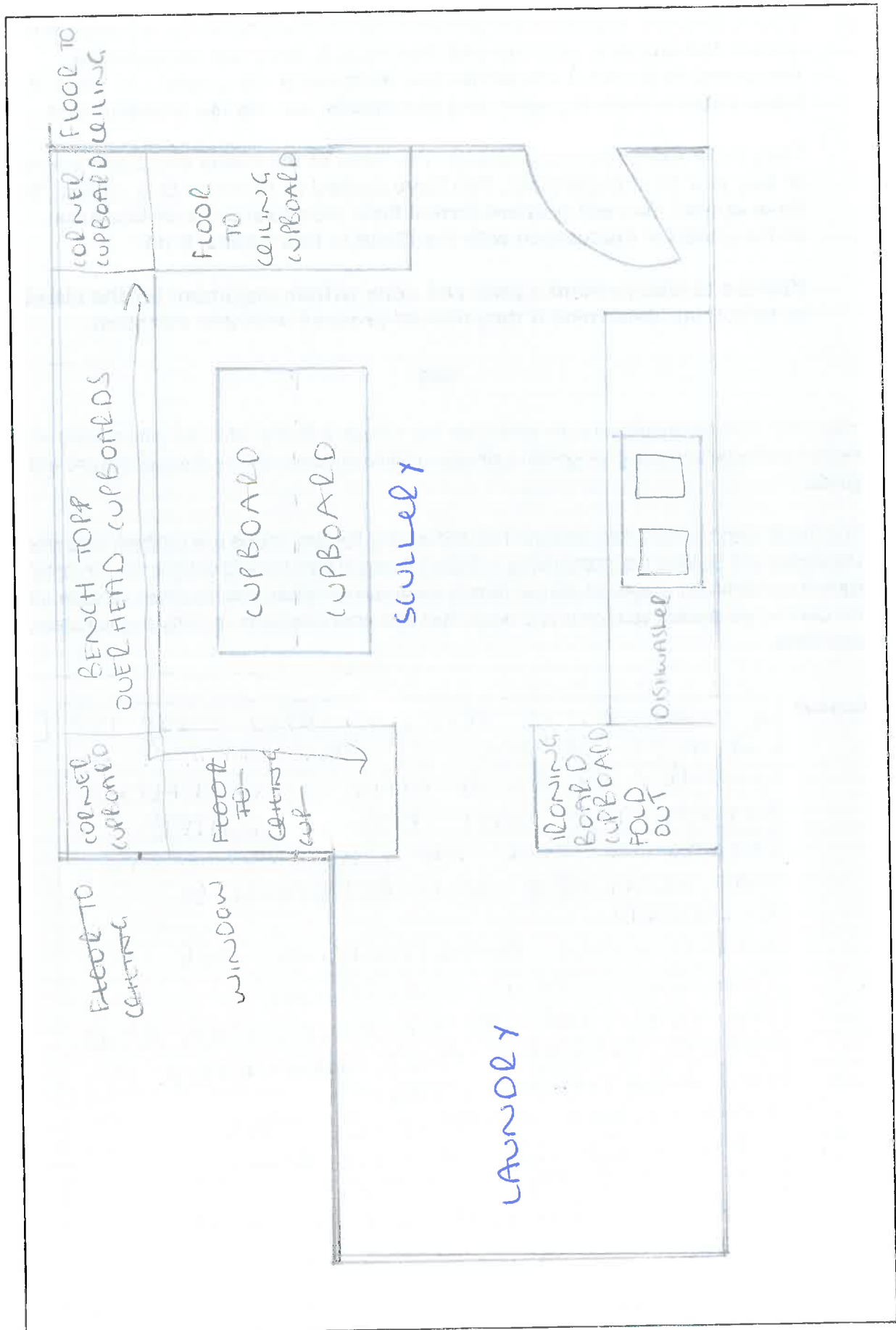
Your initial research should consider what goes into a Butler's Pantry, what are others doing with designs and layouts including refrigeration, storage, preparatory areas, electrical equipment and white goods.

You should intend to visit and/or research new and existing housing estates and establish what other Developers and Builders are incorporating in Butler's Pantry in their housing designs then to capture camera and computer images so you can discuss these various options and the drawn variation with the client as you present your ideas and sketch floor plan amendments for reconfiguring this area of their home.

Answer

A SCULLERY IS TRADITIONALLY USED FOR WASHING UP DISHES, LAUNDERING CLOTHES OR AS A KITCHEN OVERFLOW. BEDROOM 5 WILL REQUIRE WATER-PROOFING, AND THE WALL BETWEEN THE SCULLERY AND BEDROOM 5 REMOVED. EXTRA WALL PENETRATIONS FOR PLUMBING AND ELECTRICAL. PANTRY SIZE TO BE INCREASED AND ADDED STORAGE AND CABINETRY ON NORTHERN WALL. DISHWASHER INSTALLED, TALL CABINETRY FOR BROOMS AND IRONING BOARD STORAGE. FLOATING BENCH AND BENCH SPACE.





Toolbox Safety Meeting Minutes

DATE: 19 / 12 / 2018	
PROJECT NAME: 2 Kerry Court, New Auckland – New Build	Job Number: KERC001
TOOL BOX MEETING LOCATION:	
CLIENT: SIMPSON	
SUPERVISOR / PRESENTER: Clare Darling (Clearly write name)	
TOPIC: Site PPE Requirements	
ATTENDEES: Ensure all personnel sign attendance register	

Topic	Description	ACTIONED BY
Site PPE Requirements	Mandatory personal protective equipment must be worn and include; - Long sleeved high visibility shirt, second top button done up, cuff buttons done up - Steel capped safety boots - Approved safety glasses to be worn at all times whilst on site. This includes while travelling and or stationary in a light vehicle and the window is down. - Approved Hard Hat to be worn site wide - Hearing protection to be carried on person at all times - Approved hand protection carried on person and worn while undertaking any manual handling tasks that include and are not limited to, digging out tracks on machinery, shovelling, erecting signage etc - Please be mindful of the PPE free zones that include crib areas. If you are unsure where these areas are, ask.	
Adornment Policy	The following are not permitted to be worn on site; - Finger rings are not permitted - Large hoop type earrings and facial hoop type rings typically larger than 20mm diameter. Small tight fitting studs and sleepers are acceptable - Bracelets/bangles –Medic alert bracelets and neck chains are encouraged - Necklaces and chains are permitted provided they are the type that give way or break under light strain if caught. They are to be retained inside the shirt at all	

McCOSKER

SAFETY FIRST. PRODUCTION ALWAYS.

	times - Watches are permitted provided they are close fitting and have a band that will give way or break under light strain if caught - No exposed conductive jewellery or adornments including, watches, metal frame spectacles, neck chains, rings, studs, metal zips that are in contact with the skin shall be worn by electrical workers.	
McCoskers Uniform Policy	The objective is to present and promote a company image and provide consistency throughout McCoskers. This will be achieved by employees wearing the McCoskers uniform to a satisfactory standard at all times conducting themselves with decorum and professionalism. It is the responsibility of each employee to be well presented and dressed in clean, serviceable and ironed clothing as per the site PPE requirements.	

ATTENDANCE REGISTER

No	FULL NAME	EMPLOYER	SIGNATURE
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