

IDENTIFIED HAZARD AREAS

SAFETY NOTES:

FALLS, SLIPS, TRIPS:
WORKING AT HEIGHT

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. If anchorage points for portable scaffold or fall arrest devices have been use during construction. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

ANCHORAGE POINTS:

Anchorage points for portable scaffold or fall arrest devices may have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about these anchorage points.

FALLING OBJECTS:

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below;

- a. Prevent or restrict access to areas below where the work is being carried out.
- b. Provide toe boards to scaffolding or work platforms.
- c. Provide protective structure below the work area.
- d. Ensure that all persons below the work area have Personal Protective Equipment.

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

TRAFFIC MANAGEMENT:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building, designated parking for workers and loading areas should be provided. Trained traffic management personal should be responsible for the supervision of these areas. Construction of this building will require loading & unloading of materials on the roadway. deliveries should be well planned to avoid congestion of loading areas and trained traffic personnel should be used to supervise loading & unloading of these areas. Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

SERVICES:

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

(In locations with Underground power lines)

Underground power lines are located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

(In locations with overhead power lines)

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

MANUAL TASKS:

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer’ s specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer’ s specification.

PROPERTY OWNER OBLIGATIONS:

The property owner has obligations under the act to be proactively involved at the design stage and to advise the designer of any and all hazards and safety risks that they may know about. These might include location of underground services, defects in existing structures and a myriad of other things that may present as a risk. The owner can only absolve themselves of these risks by notifying the designer in writing.

CONFINED SPACES:

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided. Note take care when excavating near existing retaining walls provide support to prevent disruption of drainage/surcharge or undermine the integrity/ stability of the existing retaining walls.

ENCLOSED SPACES

(for buildings with enclosed spaces where maintenance or other access may be required) Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

(for buildings with small spaces where maintenance or other access may be required) Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

HAZARDOUS SUBSTANCES:

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

ASBESTOS

(for alterations to a building constructed prior to 1990) This building was constructed prior to 1990 and therefore may contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure. (for alterations to a building constructed prior to 1986) This building was constructed prior to 1986 and therefore is likely contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

TREATED TIMBER

The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions Areas where these are used, should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required.

The manufacturer's material or product, safety data sheet must be carefully considered and followed at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, Rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may be required. The manufacturer's recommendations for use must be considered at all times.

PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

OPERATIONAL USE OF BUILDING

This building has been designed to requirements of the specific building classification identified within the drawings. Where a change of use occurs at a later date, a further assessment of the workplace health & safety issues should be undertaken, in accordance with the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act.

(Where the specific use of the building is not known at the time of completion of this report and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.)

(For residential buildings)

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

SLIPPERY OR UNEVEN SURFACES:

FLOOR FINISHES

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. The selected surface finishes are to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes / feet. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

This building has steps and paths which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly signed and marked during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.

Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors are required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

SWIMMING POOLS & SPAS (If Applicable):

Construction of swimming pools, barriers & gates must be installed in accordance with the QLD Building & Construction Commission Pool Safety Compliance Standard, (One Pool); & The Australian Standard (AS) 1926– 2007 Parts 1 and 2 as modified by the QDC.

Excavation work should be carefully planned before work starts so it can be carried out safely. Planning involves identifying the hazards, assessing the risks and determining appropriate control measures in consultation with all relevant persons involved in the work, including the principal contractor, excavation contractor, designers and mobile plant operators. Structural or geotechnical engineers may also need to be consulted at this stage.

IMPORTANT NOTE:

Every person that comes into contact with this site has their own obligations under the "Draft Code of practice for Safe Design of Buildings and Structures", which came into force on 1st January 2012.

If you do not know your obligations, you must go to: www.safeworkaustralia.gov.au/legislation before you start work on this site.

If you design or select a component of this building or change or redesign it, or make a decision about a material or specification, you become the designer of that component and must prepare your own Risk Assessment Report.

All written reports must be compiled by the principal contractor and provided to the building owner prior to practical completion. Workplace Safety & Risk Hazard reduction is now legislated by law in Qld, and all designers of buildings must comply. Completed reports must remain with the building for the life of the building.

WORKPLACE HEALTH & SAFETY GUIDELINES: Compiled in accordance with Work Health & Safety Act 2011.

WET AREA

ALL WET AREAS TO COMPLY WITH AS3740
ALL SANITARY COMPARTMENT TO COMPLY WITH CURRENT BCA PART 3.8.3.3

WORKING DWGS

	Plans By : ALL-IN DESIGNS P/L ACN: 602 324 443 QBCC Lic: 15051194		Issue	Issue Name	Date	GENERAL NOTES: FIGURED DIMENSIONS TAKE PREFERENCE, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. CONTRACTORS TO CHECK & VERIFY ALL INFORMATION. REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS. FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ONSITE. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS. CONCRETE FOOTING & SLAB CONSTRUCTION TO COMPLY WITH 'AS 2870 or BCA 3.2.5'. TERMITE TREATMENT TO COMPLY WITH PROVISIONS OF 'PART 3.13 OF THE BCA' AND WITH 'AS 3660.1'. TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864'. WET AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.8.1 OF THE BCA'. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 and AS 2047'. SMOKE ALARMS TO COMPLY WITH THE PROVISION OF 'PART 3.7.2 OF THE BCA'. ALL GLAZING TO COMPLY WITH 'AS 1288' GLASS IN BUILDINGS, & WITH 'AS 4055' FOR WINDOWLOADING. ALL WATER CLOSETS DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3'.	CLIENT:	GROLIFE RTO FACILITY 878 BEAUDESERT, COOPERS PLAINS	ISSUE: B SCALE: Varies	DATE: 19/11/20	JOB NO: QU-0204 SHEET: A3_002
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GENERAL NOTES

ALL TRADES ARE TO REFER TO
INFORMATION PROVIDED SOURCED FROM
DIAL BEFORE YOU DIG

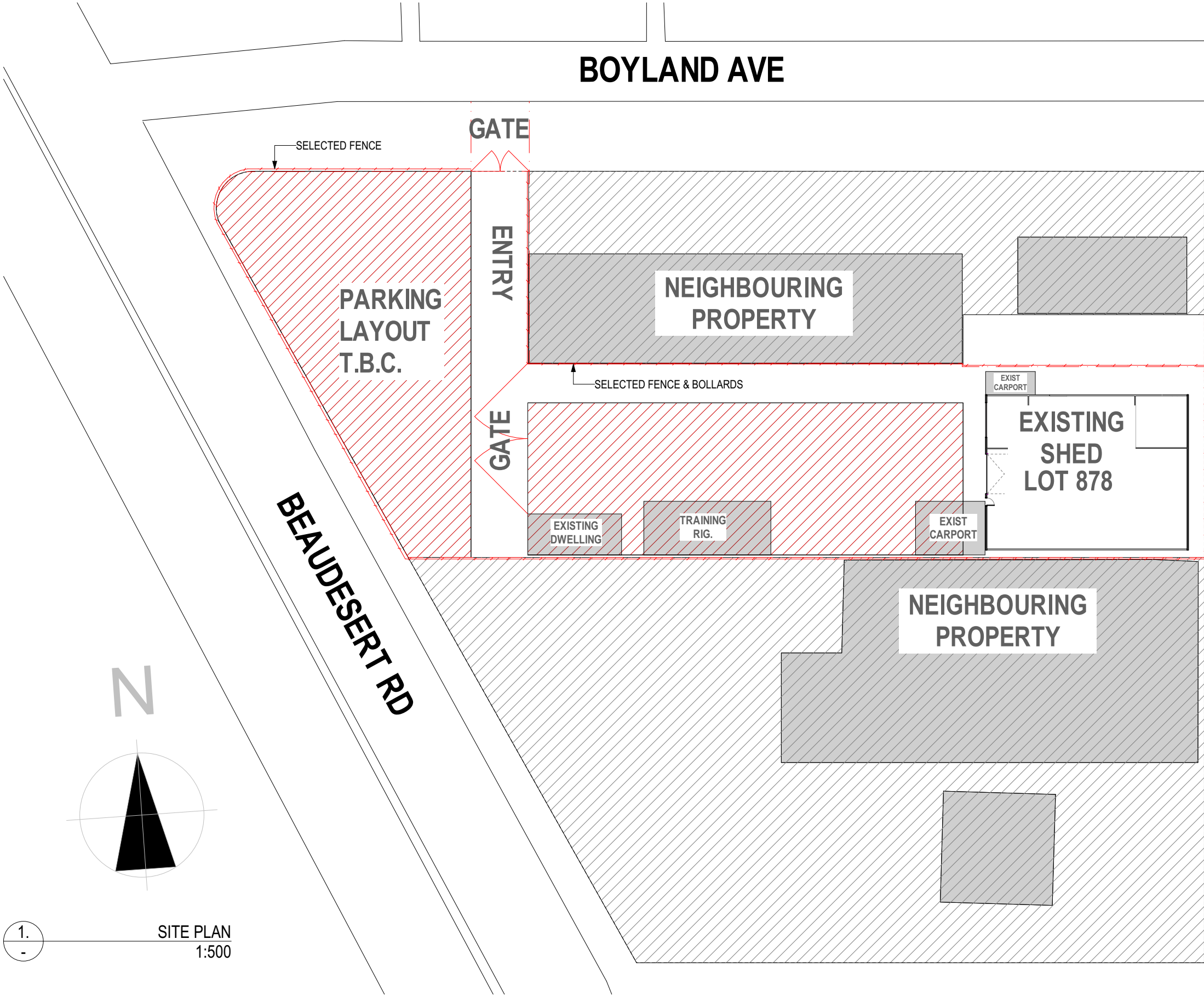
REAL PROPERTY DESCRIPTION	
Lot:	#LOT
on:	#RP
Site Area:	#AREAm²
Local Authority:	#LOCAL AUTHORITY

SITE NOTES:
1. ALL SURVEY PEGS ARE TO BE LOCATED PRIOR EARTHWORKS
2. SURFACE WATER TO BE DRAINED AWAY FROM DWELLING (PROVIDE A 1:20 min. FALL)
3. SETOUT TO BE UNDERTAKEN BY A REGISTERED LAND SURVEYOR

STORMWATER
- ROOF WATER TO TANK OR DIRECT TO STREET VIA FULLY SEALED 100 DIA. FULLY GLUED UPVC AT 1:100 MIN. GRADE TO COUNCIL REQUIREMENTS.
- TANK OVERFLOW PIPED TO STREET TO COUNCIL REQUIREMENTS.
- SWP = STORM WATER PITS 450x450.

SEWER - STORMWATER
- EXACT POSITION OF SEWER MAIN AND STORM WATER MAIN TO BE LOCATED BY BUILDER PRIOR TO START OF CONSTRUCTION.
- ALL FOOTINGS TO BE HAND DUG WITHIN 1m OF PIPE LOCATIONS. ALL SERVICES TO BE FULLY PROTECTED. PROVIDE BRIDGING FOOTINGS AS REQ'D TO ENG'S DETAILS.
- BUILDING ANY STRUCTURE WITHIN 2m OF COUNCIL SEWER OR STORMWATER IS NOT PERMITTED UNLESS SPECIFICALLY APPROVED.

SITE COVERAGE = 29%



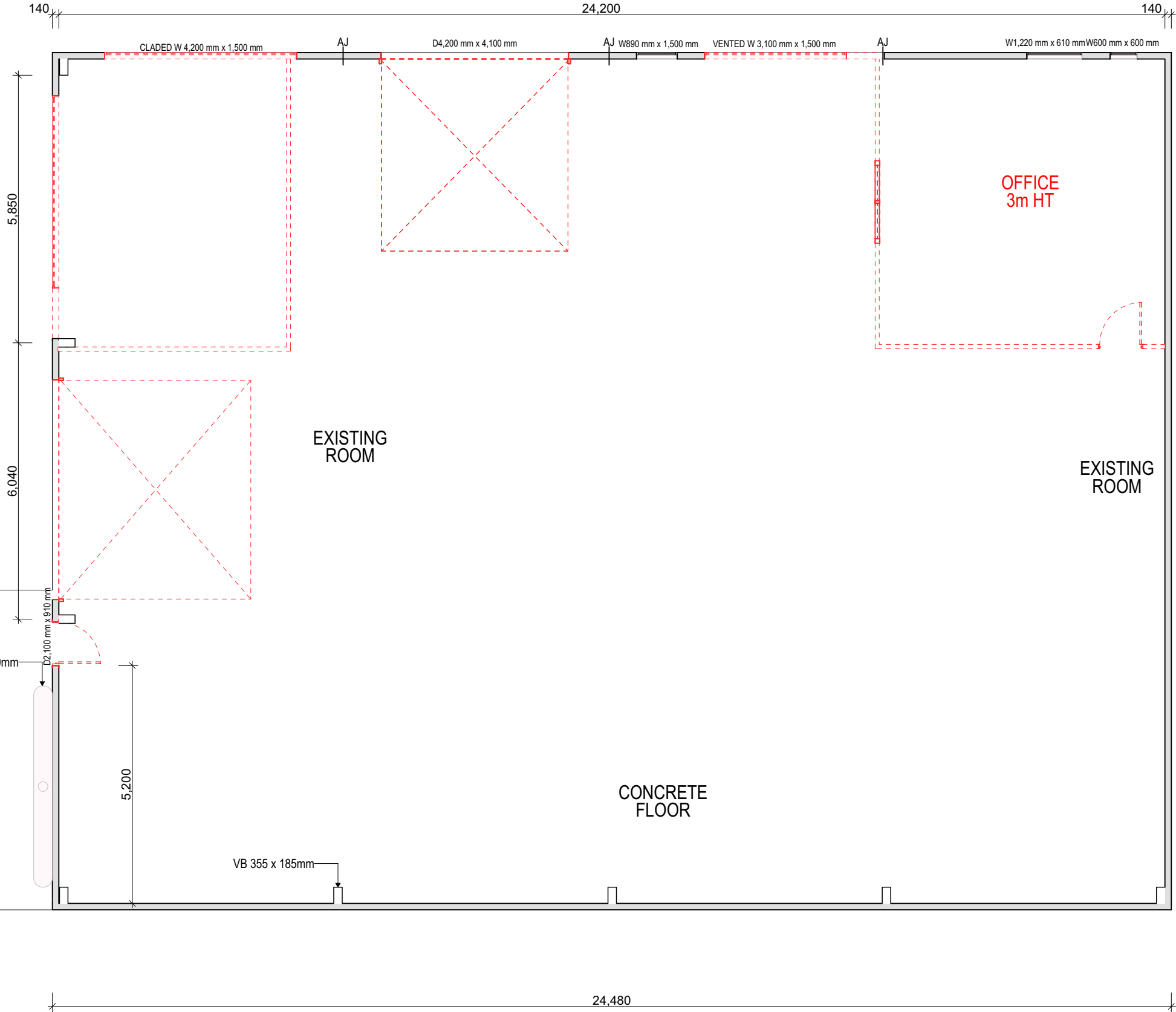
WORKING DWGS

SITE PLAN

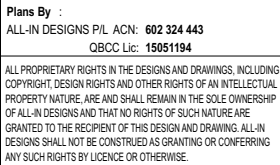
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										SHEET:	
										A3_101	
						ADDRESS:	878 BEAUDESERT, COOPERS PLAINS	SCALE:			
								Varies			



ALL DEMOLITION WORK TO BE CONDUCTED IN
SAFE MANNER AND TO WORKPLACE HEALTH AND
SAFETY REGULATION PART 4.6.
IT IS THE RESPONSABILITY OF THE BUILDER TO
CONFIRM ALL STRUCTURAL ELEMENTS ARE
CORRECTLY AND SECURELY SUPPORTED & SAFE
BEFORE REMOVAL OR STRUCTURAL SUPPORTS.
BUILDER TO CONFIRM THAT ANY SERVICES ARE
DISCONNECTED PRIOR TO WORKS.
IF ASBESTOS IS IDENTIFIED, REMOVAL MUST BE
CARRIED OUT BY A LICENCED REMOVALIST AND IN
COMPLIANCE WITH SECTION 452 & 453 OF THE
WHS REGULATIONS.



WORKING DWGS



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ISSUE:	DATE: 19/11/20	JOB NO: QU-0204
B	SHEET: A3_201	
SCALE: Varies		

EXIST. / DEMO. - GROUND

CONSTRUCTION OF SANITARY COMPARTMENTS:
AS PER THE NCC PART 3.8.3.3, THE DOOR TO THE SANITARY COMPARTMENT MUST;
a) OPEN OUTWARDS; OR
b) SLIDE; OR
c) MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT (DOOR TO HAVE LIFT OFF HINGES), UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2 METRES BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT & THE DOORWAY.

ENERGY EFFICIENCY REQUIREMENT:
EXTERNAL WINDOWS & DOOR TO BE FITTED WITH A SEAL IN ACCORDANCE WITH BCA / NCC VOLUME 2 PART 3.12.3.3.
NOTE: PROVIDE FITTED SEAL TO ALL EDGES INCLUDING THE BOTTOM OF A SWING DOOR.

SMOKE ALARMS / DETECTORS:
HARDWIRED PHOTOELECTRIC SMOKE ALARMS (CONNECTED TO MAINS POWER) WITH BATTERY BACK-UP TO BE INSTALLED IN ACCORDANCE WITH AS-3786 AND THE BCA, PART 3.7.2 -3. FOR CLASS 1A BUILDINGS, MIN REQUIREMENTS (WHERE ALL BEDROOMS ARE SERVICED BY A HALLWAY CEILING MOUNT

BATHROOM OR ENSUITE GLAZING:
IN ACCORDANCE WITH BCA PART 3.6.4.5. GLAZING TO WINDOWS LOCATED LESS THAN 2 METRES ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, OF THE BATH OR SHOWER BASE, MUST BE GRADE A SAFETY GLASS. GLAZING SUCH AS SHOWER SCREENS MUST BE LEGIBLY MARKED IN ACCORDANCE WITH AS1288.

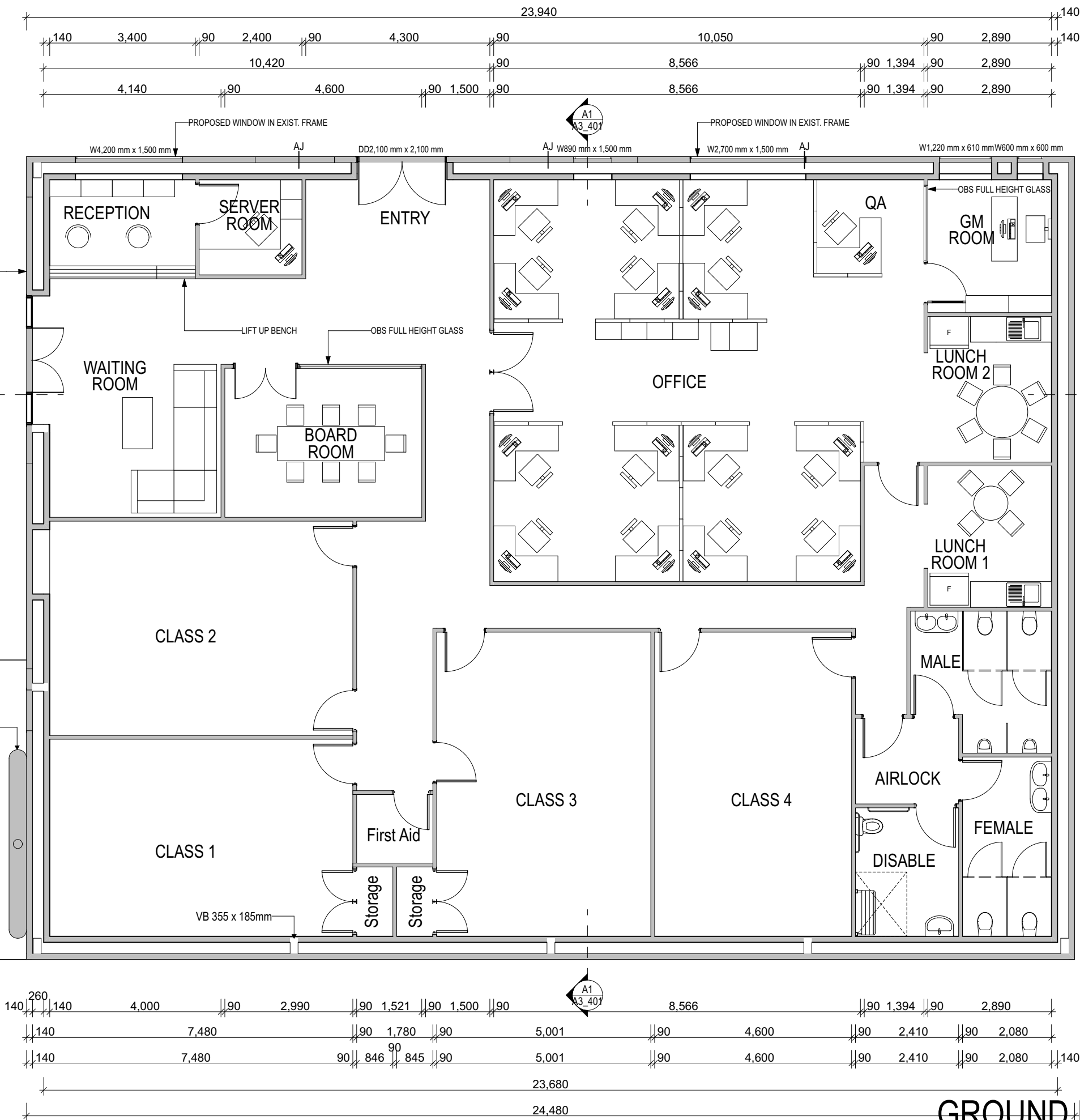
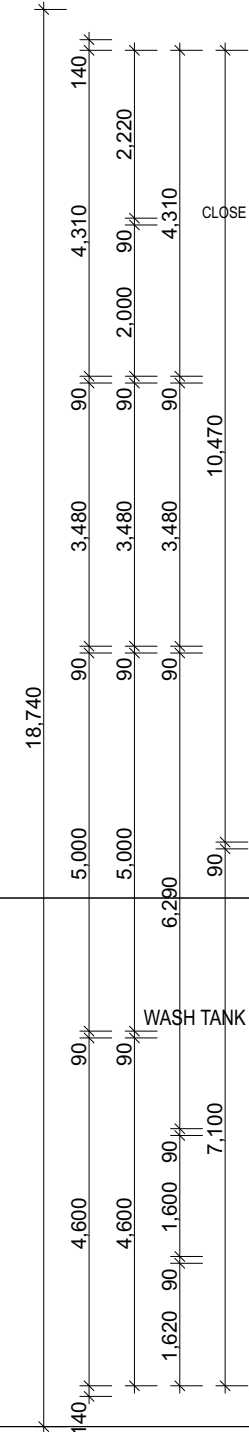
WET AREA
ALL WET AREAS TO COMPLY WITH AS3740
ALL SANITARY COMPARTMENT TO COMPLY WITH CURRENT BCA PART 3.8.3.3

ARTIFICIAL LIGHTING:
PROVIDE ARTIFICIAL LIGHTING TO PDR IN ACCORDANCE WITH AS1680 AND NCC 3.8.4.3. PROVIDE MECHANICAL VENTILATION TO PDR COMPLYING WITH, AS1668.1 AND NCC 3.8.5

LEGEND
VB - VANITY BASIN
HB- HAND BASIN
FW - FLOOR WASTE
SHR - SHOWER
TR - TOWEL RAIL
MX - MIXER
TRH - TOILET ROLL HOLDER
WC - WATER CLOSET
CT- COOK TOP
OV - OVEN
OHC - OVER HEAD CUPBOARD
REF - REFRIDGERATOR
PTY - PANTRY
SC - STOPCOCK
WM - WASHING MECHINE
DRY - CLOTHS DRYER
CFO - CLEAR FILLED OPEINING
SVD - SLIDING VINYL ROBE DOOR
OBS - OBSCURED
SW - SLIDING WINDOW
DH - DOUBLE HUNG
SH - SINGLE HUNG
FG - FIXED GLASS
AW - AWNING
ST - SEWER STACK
PDR - POWDER ROOM
W.I.R - WALK IN ROBE
LDRY - LAUNDRY



100 mm TOPPING SLAB DESIGN BY ENGINEER



NOTE:
3000mm CEILING HEIGHT.
ACOUSTIC TILE DROP CEILING THROUGHOUT.

PROPOSED AREA
446.21m²

GROUND FLOOR PLAN
1:100

GROUND FLOOR PLAN

WORKING DWGS



Plans By :
ALL-IN DESIGNS P/L ACN: 602 324 443
QBCC Lic: 15051194
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B	WORKING DRAWINGS	17.11.2020

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CLIENT: GROLIFE
PROJECT: RTO FACILITY
ADDRESS: 878 BEAUDESERT, COOPERS PLAINS

ISSUE: B
SCALE: Varies
DATE: 19/11/20
JOB NO: QU-0204
SHEET: A3_203

AS PER THE NCC PART 3.8.3.3, THE DOOR TO THE
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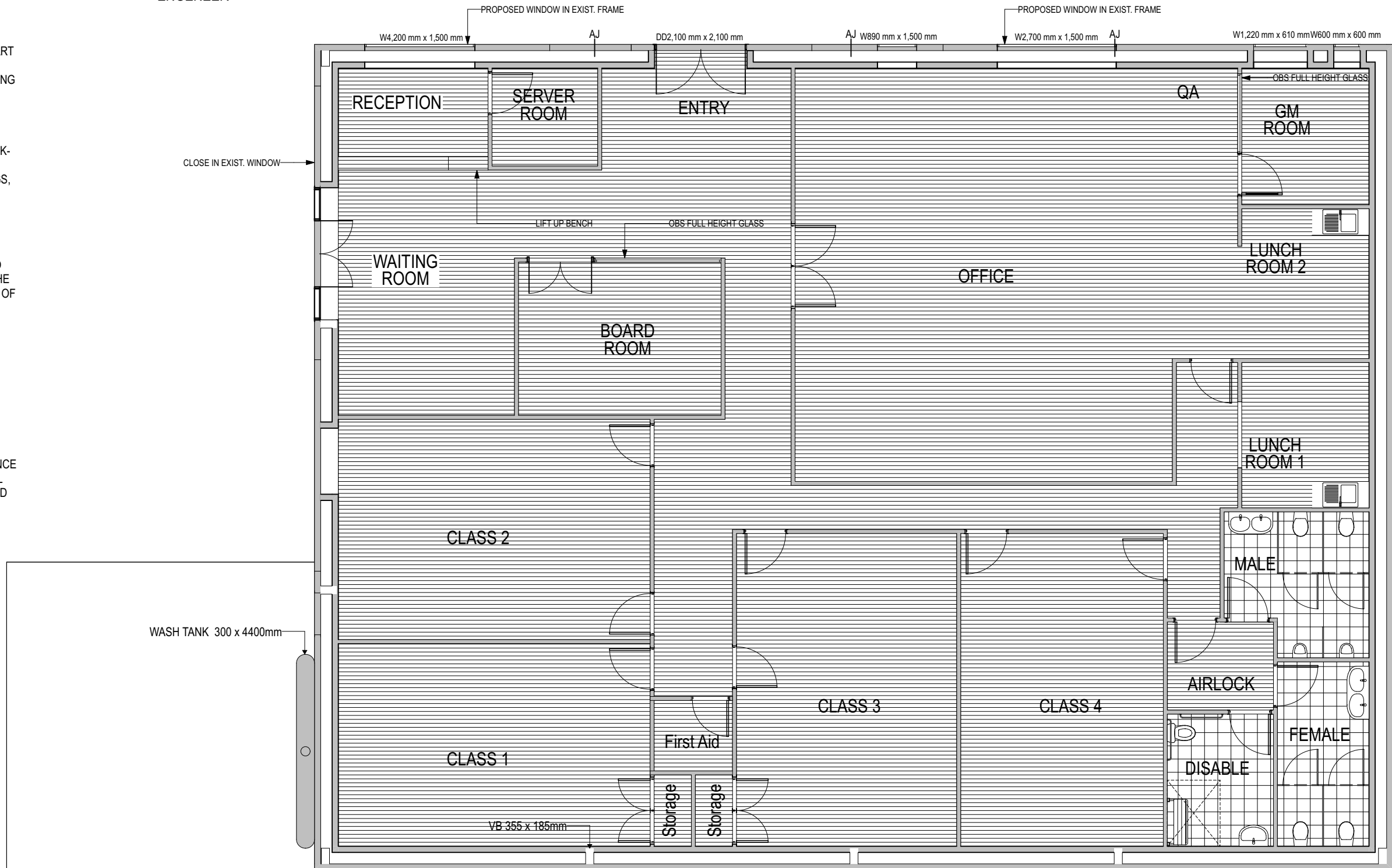
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ALL WET AREAS TO COMPLY WITH AS3740
ALL SANITARY COMPARTMENT TO COMPLY WITH
CURRENT BCA PART 3.8.3.3

PROVIDE ARTIFICIAL LIGHTING TO PDR IN ACCORDANCE WITH AS1680 AND NCC 3.8.4.3. PROVIDE MECHANICAL VENTILATION TO PDR COMPLYING WITH, AS1668.1 AND NCC 3.8.5

VB - VANITY BASIN
HB- HAND BASIN
FW - FLOOR WASTE
SHR - SHOWER
TR - TOWEL RAIL
MX - MIXER
TRH - TOILET ROLL HOLDER
WC - WATER CLOSET
CT- COOK TOP
OV - OVEN
OHC - OVER HEAD CUPBOARD
REF - REFRIDGERATOR
PTY - PANTRY
SC - STOPCOCK
WM - WASHING MECHINE
DRY - CLOTHS DRYER
CFO - CLEAR FILLED OPEINING
SVD - SLIDING VINYL ROBE DOOR
OBS - OBSCURED
SW - SLIDING WINDOW
DH - DOUBLE HUNG
SH - SINGLE HUNG
FG - FIXED GLASS
AW - AWNING
ST - SEWER STACK
PDR - POWDER ROOM
W.I.R - WALK IN ROBE
LDRY - LAUNDRY

100 mm
TOPPING SLAB
DESIGN BY
ENGINEER



PROPOSED AREA
446.21 m²

1:100

WORKING DWGS



Plans By :
ALL-IN DESIGNS P/L ACN: 602 324 443
QBCC Lic: 15051194

ALL PROPRIETARY RIGHTS IN THE DESIGNS AND DRAWINGS, INCLUDING COPYRIGHT, DESIGN RIGHTS AND OTHER RIGHTS OF AN INTELLECTUAL PROPERTY NATURE, ARE AND SHALL REMAIN IN THE SOLE OWNERSHIP OF ALL-IN DESIGNS AND THAT NO RIGHTS OF SUCH NATURE ARE GRANTED TO THE RECIPIENT OF THIS DESIGN AND DRAWING. ALL-IN DESIGNS SHALL NOT BE CONSTRUED AS GRANTING OR CONFERRING ANY SUCH RIGHTS BY LICENCE OR OTHERWISE.



Issue	Issue Name	Date
B	WORKING DRAWINGS	17.11.2020

FIGURED DIMENSIONS TAKE PRECEDENCE; DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. **CONTRACTORS TO CHECK & VERIFY ALL INFORMATION, REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS**

FINISHED GROUND LEVELS ARE APPROXIMATE ONLY AND SHOULD BE CORROBORATED USING ALL STRUCTURAL DETAILS IN EXISTING CONSTRUCTION DOCUMENTS AND THE FOLLOWING:

- **'AS 1684 PART 3.1 OF THE BCA'** - COMPLIANCE WITH PROVISIONS OF **PART 3.1 OF THE BCA** AND **COMPLY WITH 'AS S270 OR BCA 3.2.5 THERMITE TREATMENT TO COMPLY WITH PROVISIONS OF PART 3.1 OF THE BCA' AND WITH 'AS 3660.1 TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1684'**. **WE AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.1 OF THE BCA'**; **ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 AND AS 2047'; SMOKE ALARMS TO COMPLY WITH 'AS 1592.1'** AND **'AS 1592.2'** AND **'AS 1592.3'** AND **'AS 1592.4'** AND **'AS 1592.5'** AND **'AS 1592.6'** AND **'AS 1592.7'** AND **'AS 1592.8'** AND **'AS 1592.9'** AND **'AS 1592.10'** AND **'AS 1592.11'** AND **'AS 1592.12'** AND **'AS 1592.13'** AND **'AS 1592.14'** AND **'AS 1592.15'** AND **'AS 1592.16'** AND **'AS 1592.17'** AND **'AS 1592.18'** AND **'AS 1592.19'** AND **'AS 1592.20'** AND **'AS 1592.21'** AND **'AS 1592.22'** AND **'AS 1592.23'** AND **'AS 1592.24'** AND **'AS 1592.25'** AND **'AS 1592.26'** AND **'AS 1592.27'** AND **'AS 1592.28'** AND **'AS 1592.29'** AND **'AS 1592.30'** AND **'AS 1592.31'** AND **'AS 1592.32'** AND **'AS 1592.33'** AND **'AS 1592.34'** AND **'AS 1592.35'** AND **'AS 1592.36'** AND **'AS 1592.37'** AND **'AS 1592.38'** AND **'AS 1592.39'** AND **'AS 1592.40'** AND **'AS 1592.41'** AND **'AS 1592.42'** AND **'AS 1592.43'** AND **'AS 1592.44'** AND **'AS 1592.45'** AND **'AS 1592.46'** AND **'AS 1592.47'** AND **'AS 1592.48'** AND **'AS 1592.49'** AND **'AS 1592.50'** AND **'AS 1592.51'** AND **'AS 1592.52'** AND **'AS 1592.53'** AND **'AS 1592.54'** AND **'AS 1592.55'** AND **'AS 1592.56'** AND **'AS 1592.57'** AND **'AS 1592.58'** AND **'AS 1592.59'** AND **'AS 1592.60'** AND **'AS 1592.61'** AND **'AS 1592.62'** AND **'AS 1592.63'** AND **'AS 1592.64'** AND **'AS 1592.65'** AND **'AS 1592.66'** AND **'AS 1592.67'** AND **'AS 1592.68'** AND **'AS 1592.69'** AND **'AS 1592.70'** AND **'AS 1592.71'** AND **'AS 1592.72'** AND **'AS 1592.73'** AND **'AS 1592.74'** AND **'AS 1592.75'** AND **'AS 1592.76'** AND **'AS 1592.77'** AND **'AS 1592.78'** AND **'AS 1592.79'** AND **'AS 1592.80'** AND **'AS 1592.81'** AND **'AS 1592.82'** AND **'AS 1592.83'** AND **'AS 1592.84'** AND **'AS 1592.85'** AND **'AS 1592.86'** AND **'AS 1592.87'** AND **'AS 1592.88'** AND **'AS 1592.89'** AND **'AS 1592.90'** AND **'AS 1592.91'** AND **'AS 1592.92'** AND **'AS 1592.93'** AND **'AS 1592.94'** AND **'AS 1592.95'** AND **'AS 1592.96'** AND **'AS 1592.97'** AND **'AS 1592.98'** AND **'AS 1592.99'** AND **'AS 1592.100'** AND **'AS 1592.101'** AND **'AS 1592.102'** AND **'AS 1592.103'** AND **'AS 1592.104'** AND **'AS 1592.105'** AND **'AS 1592.106'** AND **'AS 1592.107'** AND **'AS 1592.108'** AND **'AS 1592.109'** AND **'AS 1592.110'** AND **'AS 1592.111'** AND **'AS 1592.112'** AND **'AS 1592.113'** AND **'AS 1592.114'** AND **'AS 1592.115'** AND **'AS 1592.116'** AND **'AS 1592.117'** AND **'AS 1592.118'** AND **'AS 1592.119'** AND **'AS 1592.120'** AND **'AS 1592.121'** AND **'AS 1592.122'** AND **'AS 1592.123'** AND **'AS 1592.124'** AND **'AS 1592.125'** AND **'AS 1592.126'** AND **'AS 1592.127'** AND **'AS 1592.128'** AND **'AS 1592.129'** AND **'AS 1592.130'** AND **'AS 1592.131'** AND **'AS 1592.132'** AND **'AS 1592.133'** AND **'AS 1592.134'** AND **'AS 1592.135'** AND **'AS 1592.136'** AND **'AS 1592.137'** AND **'AS 1592.138'** AND **'AS 1592.139'** AND **'AS 1592.140'** AND **'AS 1592.141'** AND **'AS 1592.142'** AND **'AS 1592.143'** AND **'AS 1592.144'** AND **'AS 1592.145'** AND **'AS 1592.146'** AND **'AS 1592.147'** AND **'AS 1592.148'** AND **'AS 1592.149'** AND **'AS 1592.150'** AND **'AS 1592.151'** AND **'AS 1592.152'** AND **'AS 1592.153'** AND **'AS 1592.154'** AND **'AS 1592.155'** AND **'AS 1592.156'** AND **'AS 1592.157'** AND **'AS 1592.158'** AND **'AS 1592.159'** AND **'AS 1592.160'** AND **'AS 1592.161'** AND **'AS 1592.162'** AND **'AS 1592.163'** AND **'AS 1592.164'** AND **'AS 1592.165'** AND **'AS 1592.166'** AND **'AS 1592.167'** AND **'AS 1592.168'** AND **'AS 1592.169'** AND **'AS 1592.170'** AND **'AS 1592.171'** AND **'AS 1592.172'** AND **'AS 1592.173'** AND **'AS 1592.174'** AND **'AS 1592.175'** AND **'AS 1592.176'** AND **'AS 1592.177'** AND **'AS 1592.178'** AND **'AS 1592.179'** AND **'AS 1592.180'** AND **'AS 1592.181'** AND **'AS 1592.182'** AND **'AS 1592.183'** AND **'AS 1592.184'** AND **'AS 1592.185'** AND **'AS 1592.186'** AND **'AS 1592.187'** AND **'AS 1592.188'** AND **'AS 1592.189'** AND **'AS 1592.190'** AND **'AS 1592.191'** AND **'AS 1592.192'** AND **'AS 1592.193'** AND **'AS 1592.194'** AND **'AS 1592.195'** AND **'AS 1592.196'** AND **'AS 1592.197'** AND **'AS 1592.198'** AND **'AS 1592.199'** AND **'AS 1592.200'** AND **'AS 1592.201'** AND **'AS 1592.202'** AND **'AS 1592.203'** AND **'AS 1592.204'** AND **'AS 1592.205'** AND **'AS 1592.206'** AND **'AS 1592.207'** AND **'AS 1592.208'** AND **'AS 1592.209'** AND **'AS 1592.210'** AND **'AS 1592.211'** AND **'AS 1592.212'** AND **'AS 1592.213'** AND **'AS 1592.214'** AND **'AS 1592.215'** AND **'AS 1592.216'** AND **'AS 1592.217'** AND **'AS 1592.218'** AND **'AS 1592.219'** AND **'AS 1592.220'** AND **'AS 1592.221'** AND **'AS 1592.222'** AND **'AS 1592.223'** AND **'AS 1592.224'** AND **'AS 1592.225'** AND **'AS 1592.226'** AND **'AS 1592.227'** AND **'AS 1**

ADDRESS:

878 BEAUDESERT, COOPERS PLAINS

DATE:
19/11/20

SCALE:
Varies

DATE:
19/11/20

JOB NO:
QU-0204

SHEET:

A3 204

FLOOR COVERING

ROOF NOTE:
METAL ROOF SHEETING SHALL COMLY WITH AS 1562.1 DESIGN & INSTALLED OF SHEET ROOF & WALL CLADDING: METAL.
ALL ROOF SHEETING, FLASHING, CAPPINGS, FIXING & PENETRATIONS FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1 & MANUFACTURERS DETAILS & SPECIFICATIONS.
ALL FIXINGS/FASTNERS SHALL BE GALVANISED AND COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
WHERE POSSIBLE ROOF SHEETS ARE TO BE LAID WITH ONE AND A HALF SIDE LAPS, ENSURING THAT THE SIDE LAP IS FACING AWAY FROM THE PREVAILING WEATHER.
ROOF SHEETS MUST BE LAID WHERE EVER POSSIBLE USING COMPLETE LENGTHS FROM FASCIA TO FASCIA.



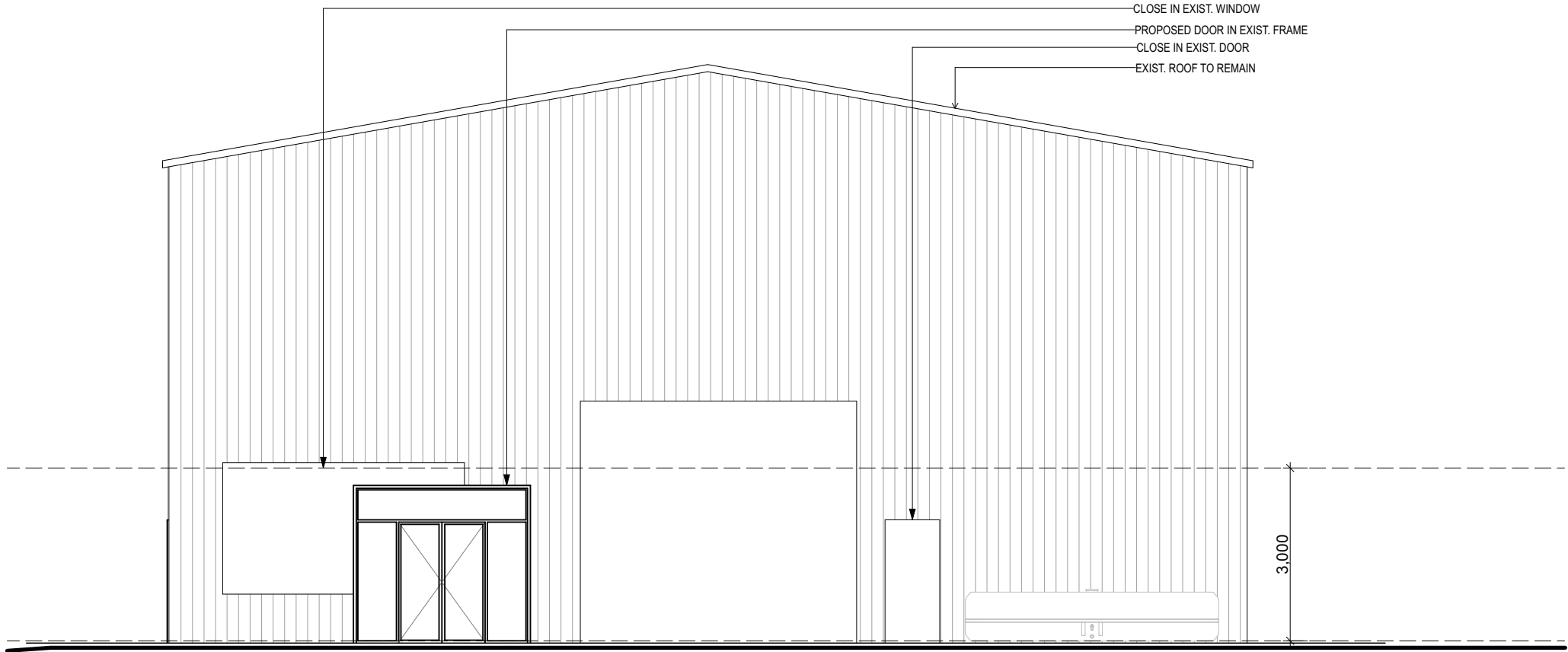
ROOF PLAN
1:100

CEILING PLAN

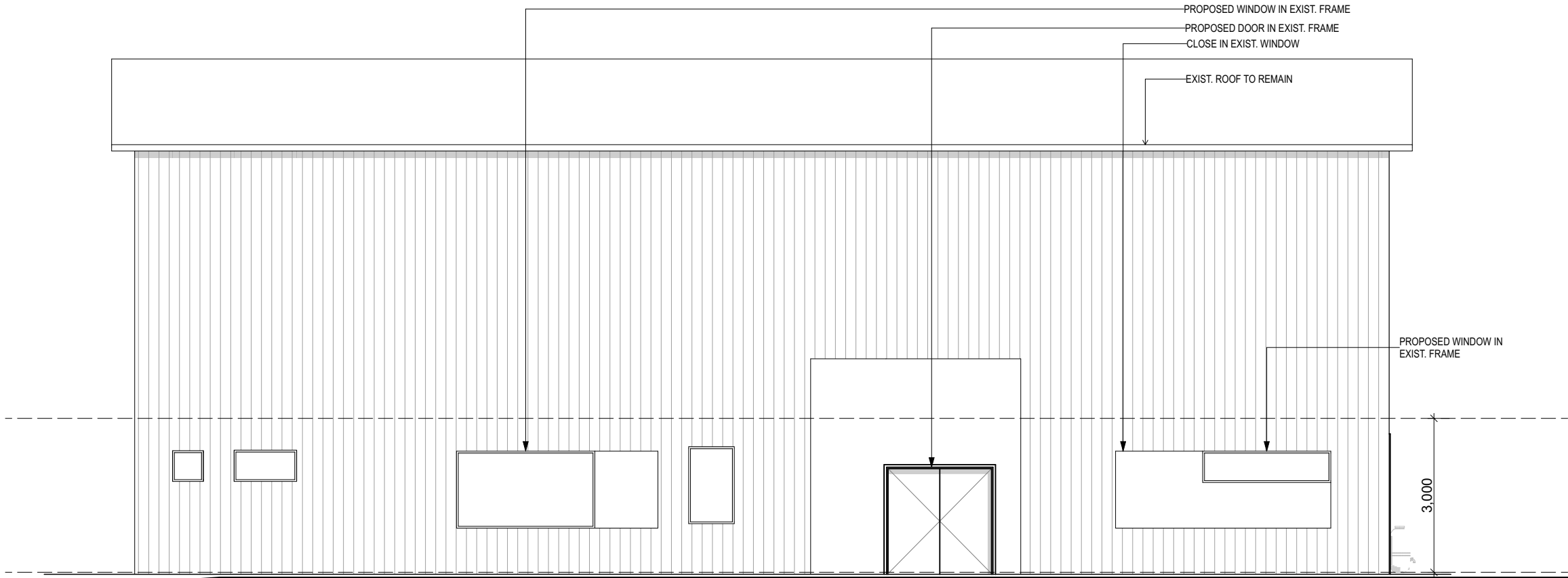
WORKING DWGS

	Plans By : ALL-IN DESIGNS P/L ACN: 602 324 443 QBCC Lic: 15051194		Issue	Issue Name	Date	GENERAL NOTES: FIGURED DIMENSIONS TAKE PREFERENCE, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. CONTRACTORS TO CHECK & VERIFY ALL INFORMATION. REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS. FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ONSITE. ALL STRUCTURAL DEATILS TO ENGINEERS SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS. CONCRETE FOOTING & SLAB CONSTRUCTION TO COMPLY WITH 'AS 2870 or BCA 3.2.5'. TERMITE TREATMENT TO COMPLY WITH PROVISIONS OF 'PART 3.13 OF THE BCA' AND WITH 'AS 3660.1'. TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864'. WET AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.8.1 OF THE BCA'. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 and AS 2047'. SMOKE ALARMS TO COMPLY WITH THE PROVISION OF 'PART 3.7.2 OF THE BCA'. ALL GLAZING TO COMPLY WITH 'AS 1288' GLASS IN BUILDINGS, & WITH 'AS 4055' FOR WINDOWLOADING. ALL WATER CLOSETS DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3'.	CLIENT:	GROLIFE RTO FACILITY 878 BEAUDESERT, COOPERS PLAINS	ISSUE:	DATE:	JOB NO:
			B	WORKING DRAWINGS	17.11.2020		B		19/11/20	QU-0204	
									SHEET:		
									A3_206		
									SCALE: Varies		

NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED OTHERWISE.



ELEVATION 01
1:100



ELEVATION 02
1:100

ELEVATION 1

WORKING DWGS



**ALL-IN
DESIGNS**

Plans By :
ALL-IN DESIGNS P/L ACN: 602 324 443
QBCC Lic: 15051194

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Issue	Issue Name	Date
B	WORKING DRAWINGS	17.11.2020

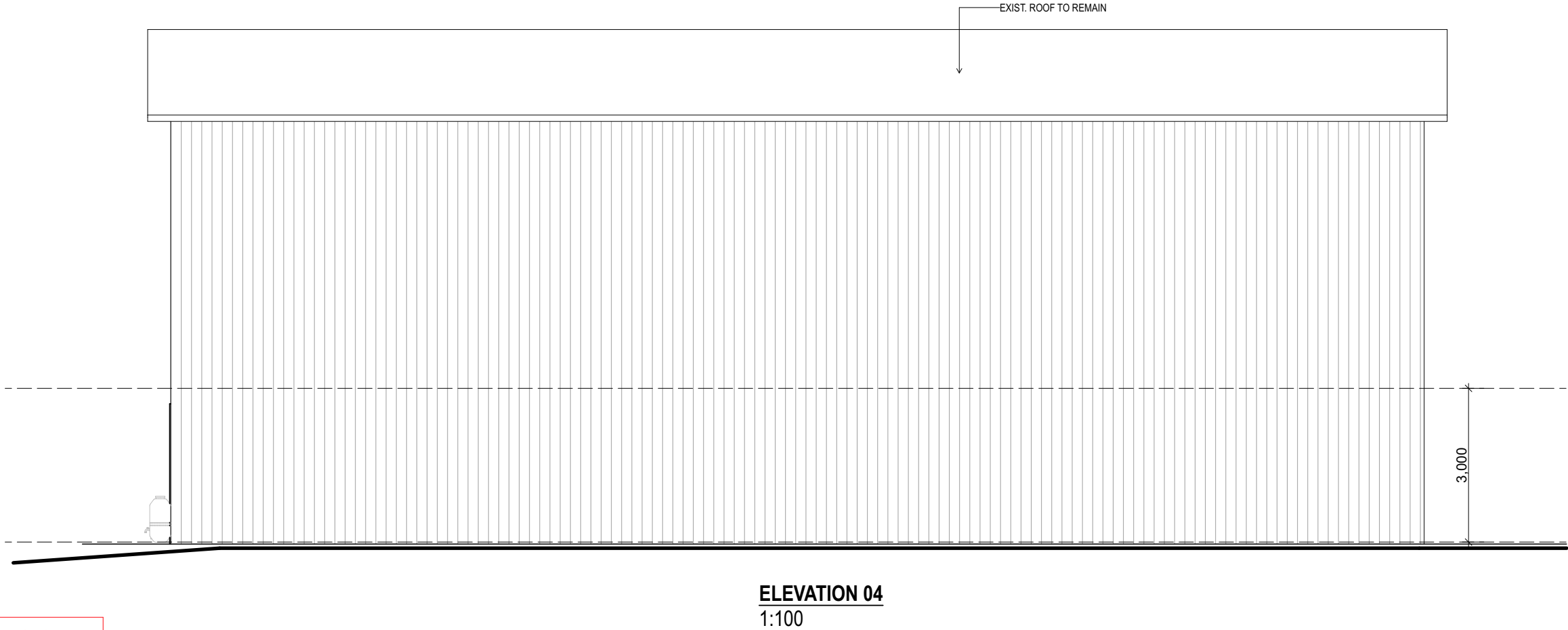
GENERAL NOTES:
FIGURED DIMENSIONS TAKE PREFFERENCE, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. CONTRACTORS TO CHECK & VERIFY ALL INFORMATION. REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS. FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ONSITE. ALL STRUCTURAL DETAILTS TO ENGINEER'S SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS. CONCRETE FOOTING & SLAB CONSTRUCTION TO COMPLY WITH 'AS 2870 or BCA 3.2.5'. TERMITE TREATMENT TO COMPLY WITH PROVISIONS OF 'PART 3.13 OF THE BCA' AND WITH 'AS 3660.1'. TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864'. WET AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.8.1 OF THE BCA'. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 and AS 2047'. SMOKE ALARMS TO COMPLY WITH THE PROVISION OF 'PART 3.7.2 OF THE BCA'. ALL GLAZING TO COMPLY WITH 'AS 1288' GLASS IN BUILDINGS, & WITH 'AS 4055' FOR WINDOWLOADING. ALL WATER CLOSETS DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3'.

CLIENT:	GROLIFE
PROJECT:	RTO FACILITY
ADDRESS:	878 BEAUDESERT, COOPERS PLAINS

ISSUE:	DATE:
B	19/11/20
SCALE:	Varies

JOB NO:	SHEET:
QU-0204	A3_301

NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD
UNLESS NOMINATED OTHERWISE.



ELEVATION 2

WORKING DWGS

 ALL-IN DESIGNS	Plans By : ALL-IN DESIGNS P/L ACN: 602 324 443 QBCC Lic: 15051194 ALL PROPRIETARY RIGHTS IN THE DESIGNS AND DRAWINGS, INCLUDING COPYRIGHT, DESIGN RIGHTS AND OTHER RIGHTS OF AN INTELLECTUAL PROPERTY NATURE, ARE AND SHALL REMAIN IN THE SOLE OWNERSHIP OF ALL-IN DESIGNS AND THAT NO RIGHTS OF SUCH NATURE ARE GRANTED TO THE RECIPIENT OF THIS DESIGN AND DRAWING. ALL-IN DESIGNS SHALL NOT BE CONSTRUED AS GRANTING OR CONFERRING ANY SUCH RIGHTS BY LICENCE OR OTHERWISE.		Issue	Issue Name	Date	GENERAL NOTES: FIGURED DIMENSIONS TAKE PREFERENCE, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. CONTRACTORS TO CHECK & VERIFY ALL INFORMATION. REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS. FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ONSITE. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS. CONCRETE FOOTING & SLAB CONSTRUCTION TO COMPLY WITH 'AS 2870 or BCA 3.2.5'. TERMITE TREATMENT TO COMPLY WITH PROVISIONS OF 'PART 3.13 OF THE BCA' AND WITH 'AS 3660.1'. TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864'. WET AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.8.1 OF THE BCA'. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 and AS 2047'. SMOKE ALARMS TO COMPLY WITH THE PROVISION OF 'PART 3.7.2 OF THE BCA'. ALL GLAZING TO COMPLY WITH 'AS 1288' GLASS IN BUILDINGS, & WITH 'AS 4055' FOR WINDOWLOADING. ALL WATER CLOSETS DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3'.	CLIENT:	GROLIFE	ISSUE:	DATE: 19/11/20	JOB NO: QU-0204
			B	WORKING DRAWINGS	17.11.2020		B	SHEET: A3_302			
							PROJECT:	RTO FACILITY	SCALE: Varies		
			ADDRESS:	878 BEAUDESERT, COOPERS PLAINS							

STANDARD INCLUSIONS FOR ENERGY EFFICIENCY REQUIREMENTS:

- ALUMINIUM IMPROVED WINDOWS THROUGHOUT
- STANDARD SISALATION WRAP TO EXT. WALLS OF DWELLING
- R 2.5 GLASSWOOL BATTS TO CEILINGS.
- R 1.5 GLASSWOOL BATTS TO EXT. WALLS

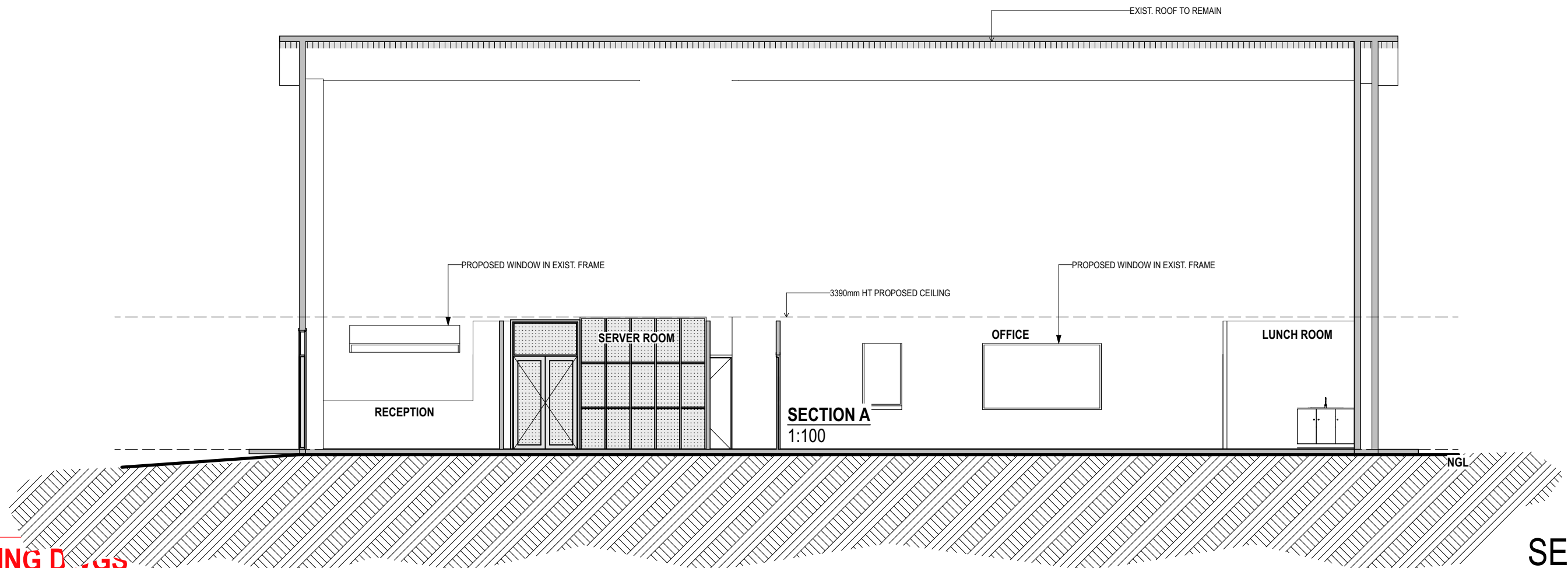
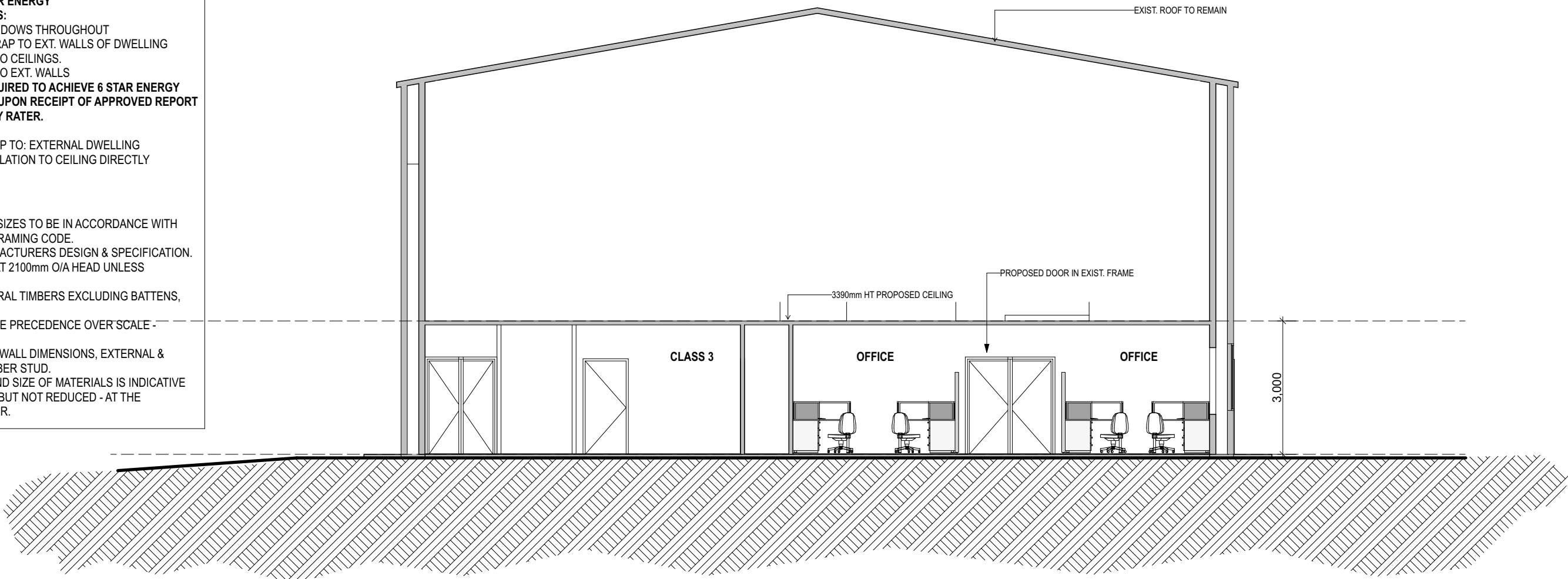
FURTHER INCLUSIONS REQUIRED TO ACHIEVE 6 STAR ENERGY RATING TO BE CONFIRMED UPON RECEIPT OF APPROVED REPORT FROM ACCREDITED ENERGY RATER.

NOTE:

PROVIDED SISALATION WRAP TO: EXTERNAL DWELLING
WALLS ONLY. PROVIDE INSULATION TO CEILING DIRECTLY
UNDER ROOF SPACE.

NOTE:

- ALL STRUCTURAL TIMBER SIZES TO BE IN ACCORDANCE WITH AS1684 NATIONAL TIMBER FRAMING CODE.
- ROOF TRUSSES TO MANUFACTURERS DESIGN & SPECIFICATION.
- ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED
- DIMENSIONS TO STRUCTURAL TIMBERS EXCLUDING BATTENS, PLASTERBOARD, ETC.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE - — — UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS, EXTERNAL & INTERNAL 70mm / 90mm TIMBER STUD.
- NOMINATED THICKNESS AND SIZE OF MATERIALS IS INDICATIVE ONLY AND MAY BE VARIED - BUT NOT REDUCED - AT THE DISCRETION OF THE BUILDER.



WORKING DAYS



Plans By :
ALL-IN DESIGNS P/L ACN: 602 324 443
QBCC Lic: 15051194

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Issue	Issue Name	Date
B	WORKING DRAWINGS	17.11.2020

GENERAL NOTES:

FIGURED DIMENSIONS TAKE PIERCE ERROR, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. **CONTRACTORS TO CHECK & VERIFY ALL INFORMATION, REPORT ANY ERRORS OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS.**

FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ON SITE. ALL STRUCTURAL DETAILS TO COMPLY WITH THE SPECIFICATIONS OF THE APPROPRIATE CODES AND STANDARDS. ALL CONSTRUCTION TO COMPLY WITH:

- AS 2870 or BC 3.2.5 TERMITES TREATMENT TO COMPLY WITH PROVISIONS OF PART 3.13 OF THE BCA AND WITH AS 3660.1 TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864' WE AREAS TO COMPLY WITH THE PROVISIONS OF PART 3.8.1 OF THE BCA. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 AND AS 2047'. SMOKE ALARMS TO COMPLY WITH 'AS 1592'. ALL ELECTRICAL INSTALLATIONS TO COMPLY WITH 'AS 1547' AND 'AS 1548'.**
- AND WITH 'AS 4059' FOR WINDOW/DOOR ALL WATER CLOSES DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3.'**

CLIENT:

GROLIFE

PROJECT:

RTO FACILITY

ADDRESS:

878 BEAUDESERT, COOPERS PLAINS

ISSUE:

DATE:
19/11/20

JOB NO:
QU-0204

B

SCALE:
Varies

SHEET:

A3 401

SECTION A

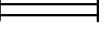
ALL MEASUREMENTS TO BOTTOM OF PLATE

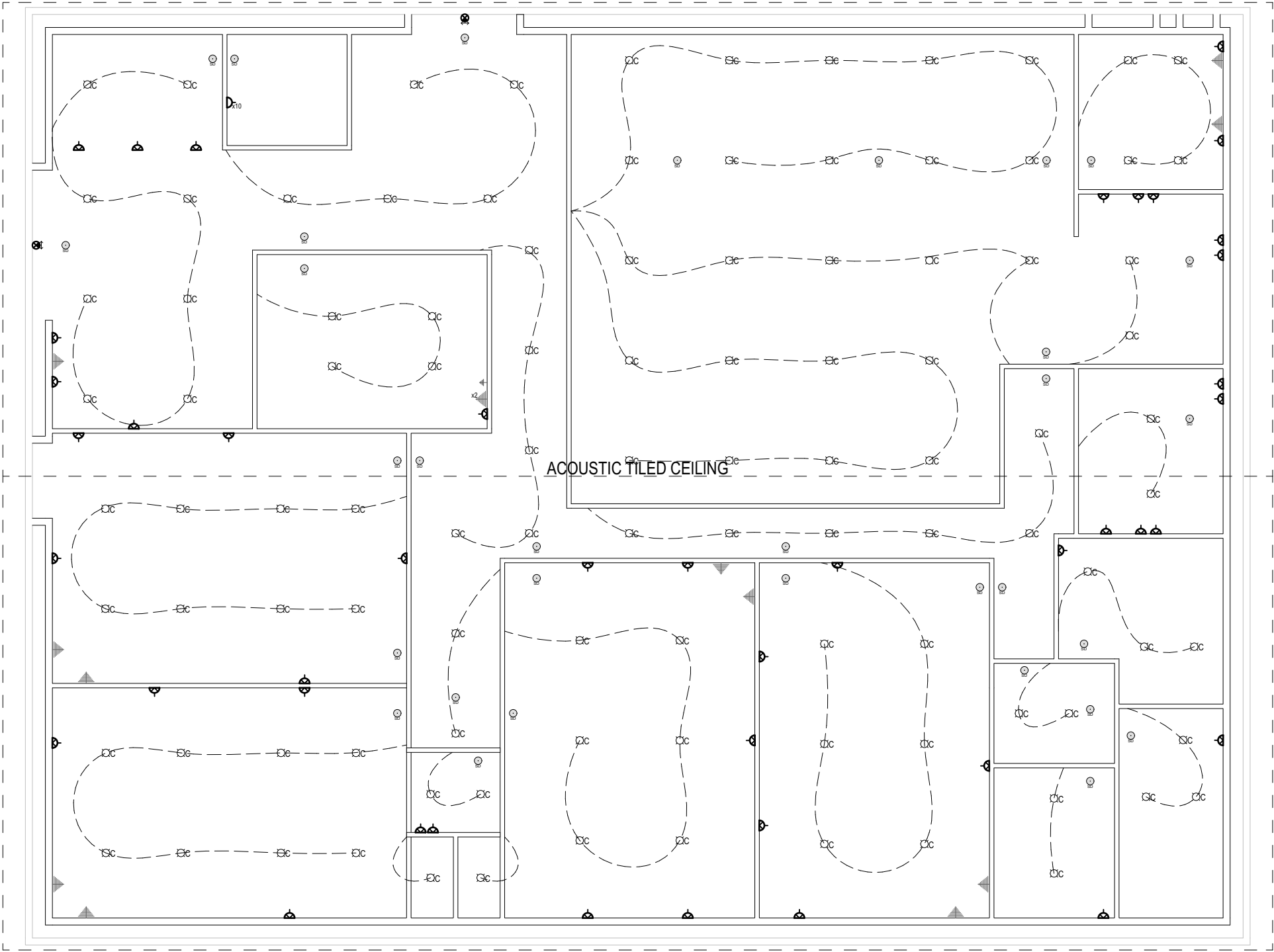
- FLOOR GPOs @300mm AFL, UNO
- LIGHT SWITCHES ON WALLS @1100mm AFL, UNO
- GPOs @ 100mm ABOVE BENCH OF ALL VANITIES & KITCHEN BENCHTOPS:
- FRIDGE GPO @1600mm AFL, UNO
- WASHING MACHINE GPO @1200mm, UNO
- EXTERNAL & GARAGE GPOs @ 300mm AFL, UNO

PROVIDE ENERY EFFICIENT ELECTRICAL FIXTURES TO MINIMUM 80% OF HOUSE AS REQUIRED BY SUSTAINABLE HOUSING LEGISLATION. POSITION OF ELECTRICAL POINTS SUBJECT TO CONSTRUCTION CONSTRAINTS.

FINAL LAYOUT CONFIRMED ON SITE WITH CLIENT

LEGEND

- **DOWN LIGHT**
WHITE LUMITEX BARRICADE 2 LED OR SIMILAR
- **PENDANT LIGHT**
AS SELECTED
- **FLUORESCENT LIGHT**
2 x 24V FLUORECENT TUBE
- **WALL MOUNTED LIGHT**
AS SELECTED
- **WALL MOUNTED SENSOR LIGHT**
AS SELECTED
- **RECESSED SPOT 21**
- **BATHROOM HEAT LIGHT**
WHITE THERMALITE 3 IN 1 BATHROOM HEATER, FAN & LIGHT OR SIMILAR
- **EXHAUST FAN**
AS SELECTED
"L" = SWITCHED WITH LIGHT
"I" = SWITCHED INDIVIDUALLY
- **EMERGENCY LIGHTING**
WIRED TO MAIN POWER AND JOINED TO SMOKE DETECTOR
- **EMERGENCY EXIT LIGHT**
WIRED TO MAIN POWER
- **SMOKE DETECTOR**
REFER GENERAL NOTES
- **LIGHT SWITCH**
- **2-WAY LIGHT SWITCH**
- **3-WAY LIGHT SWITCH**
- **SINGLE GPO**
- **DOUBLE GPO**
- **TV POINT**
- **HDMI POINT**
- **CEILING FAN**



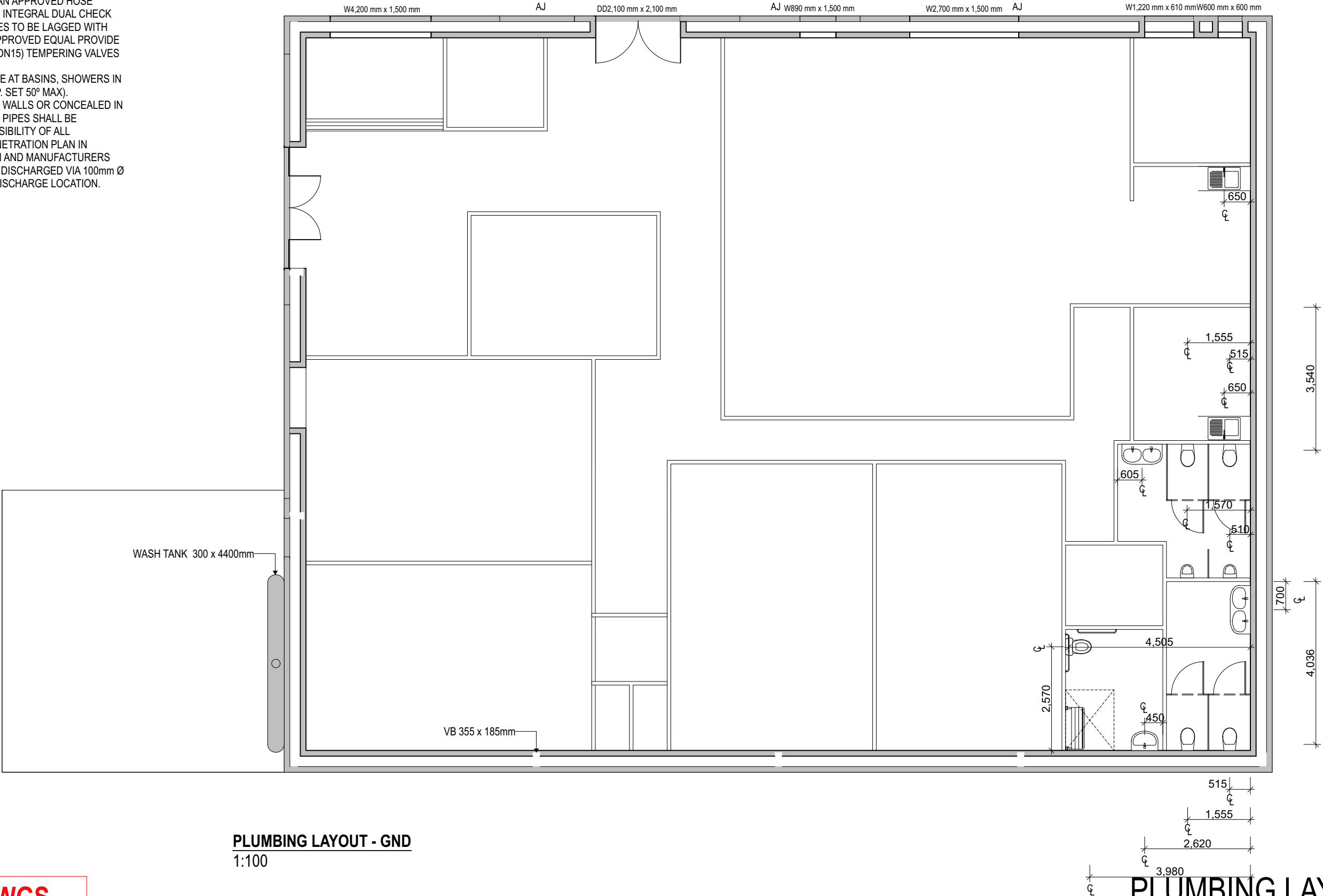
ELECTRICAL PLAN - GROUND
1:100

WORKING DWGS

ELECTRICAL LAYOUT - GND FLOOR

	Plans By : ALL-IN DESIGNS P/L ACN: 602 324 443 QBCC Lic: 15051194		Issue	Issue Name	Date	GENERAL NOTES: FIGURED DIMENSIONS TAKE PREFERENCE, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. CONTRACTORS TO CHECK & VERIFY ALL INFORMATION. REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS. FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ONSITE. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS. CONCRETE FOOTING & SLAB CONSTRUCTION TO COMPLY WITH 'AS 2870 or BCA 3.2.5'. TERMITE TREATMENT TO COMPLY WITH PROVISIONS OF 'PART 3.13 OF THE BCA' AND WITH 'AS 3660.1'. TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864'. WET AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.8.1 OF THE BCA'. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 and AS 2047'. SMOKE ALARMS TO COMPLY WITH THE PROVISION OF 'PART 3.7.2 OF THE BCA'. ALL GLAZING TO COMPLY WITH 'AS 1288' GLASS IN BUILDINGS, & WITH 'AS 4055' FOR WINDOWLOADING. ALL WATER CLOSETS DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3'.	CLIENT:	GROLIFE RTO FACILITY 878 BEAUDESERT, COOPERS PLAINS	ISSUE:	DATE:	JOB NO:
	ALL PROPRIETARY RIGHTS IN THE DESIGNS AND DRAWINGS, INCLUDING COPYRIGHT, DESIGN RIGHTS AND OTHER RIGHTS OF AN INTELLECTUAL PROPERTY NATURE, ARE AND SHALL REMAIN IN THE SOLE OWNERSHIP OF ALL-IN DESIGNS AND THAT NO RIGHTS OF SUCH NATURE ARE GRANTED TO THE RECIPIENT OF THIS DESIGN AND DRAWING. ALL-IN DESIGNS SHALL NOT BE CONSIDERED AS GRANTING OR CONFERRING ANY SUCH RIGHTS BY LICENCE OR OTHERWISE.		B	WORKING DRAWINGS	17.11.2020		B		19/11/20	QU-0204	
										SHEET:	
										A3_701	
						SCALE:					
						Varies					

PLUMBING NOTES:
ALL PLUMBING AND DRAINAGE WORKS SHALL BE CARRIED OUT BY A LICENSED PLUMBER OR DRAINER AND INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING AND DRAINAGE CODE AS/NZS.3500, THE QUEENSLAND PLUMBING AND WASTEWATER CODE, PLUMBING & DRAINAGE ACT 2002, PLUMBING & DRAINAGE REGULATION 2003.
ALL SANITARY PLUMBING AND DRAINAGE PIPES SHALL BE UPVC CLASS 'DWV' TO A.S. 1260.
ALL WATER PIPES SHALL BE TYPE 'B' COPPER TUBE TO A.S.1432 UNLESS NOTED OTHERWISE.
ALL HOSE TAPS TO BE FITTED WITH AN APPROVED HOSE CONNECTION VACUUM BREAKER OR INTEGRAL DUAL CHECK VALVE. ALL HOT & MIXED WATER PIPES TO BE LAGGED WITH 13mm 'BRADFLEX' INSULATION OR APPROVED EQUAL PROVIDE AND INSTALL 'RMC HEATGUARD 15' (DN15) TEMPERING VALVES TO CONTROL HOT WATER TEMPERATURE AT BASINS, SHOWERS IN ACCORDANCE WITH AS.3500.4 (TEMP. SET 50° MAX).
ALL WATER PIPES SHALL BE BUILT IN WALLS OR CONCEALED IN DUCTS AND CEILINGS. ALL EXPOSED PIPES SHALL BE CHROME PLATED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO CHECK SLAB PENETRATION PLAN IN CONJUNCTION WITH THE FLOOR PLAN AND MANUFACTURERS REQUIRED SETOUTS. STORMWATER DISCHARGED VIA 100mm Ø PVC STORMWATER LINE TO LEGAL DISCHARGE LOCATION. CHECK WITH LOCAL AUTHORITY.



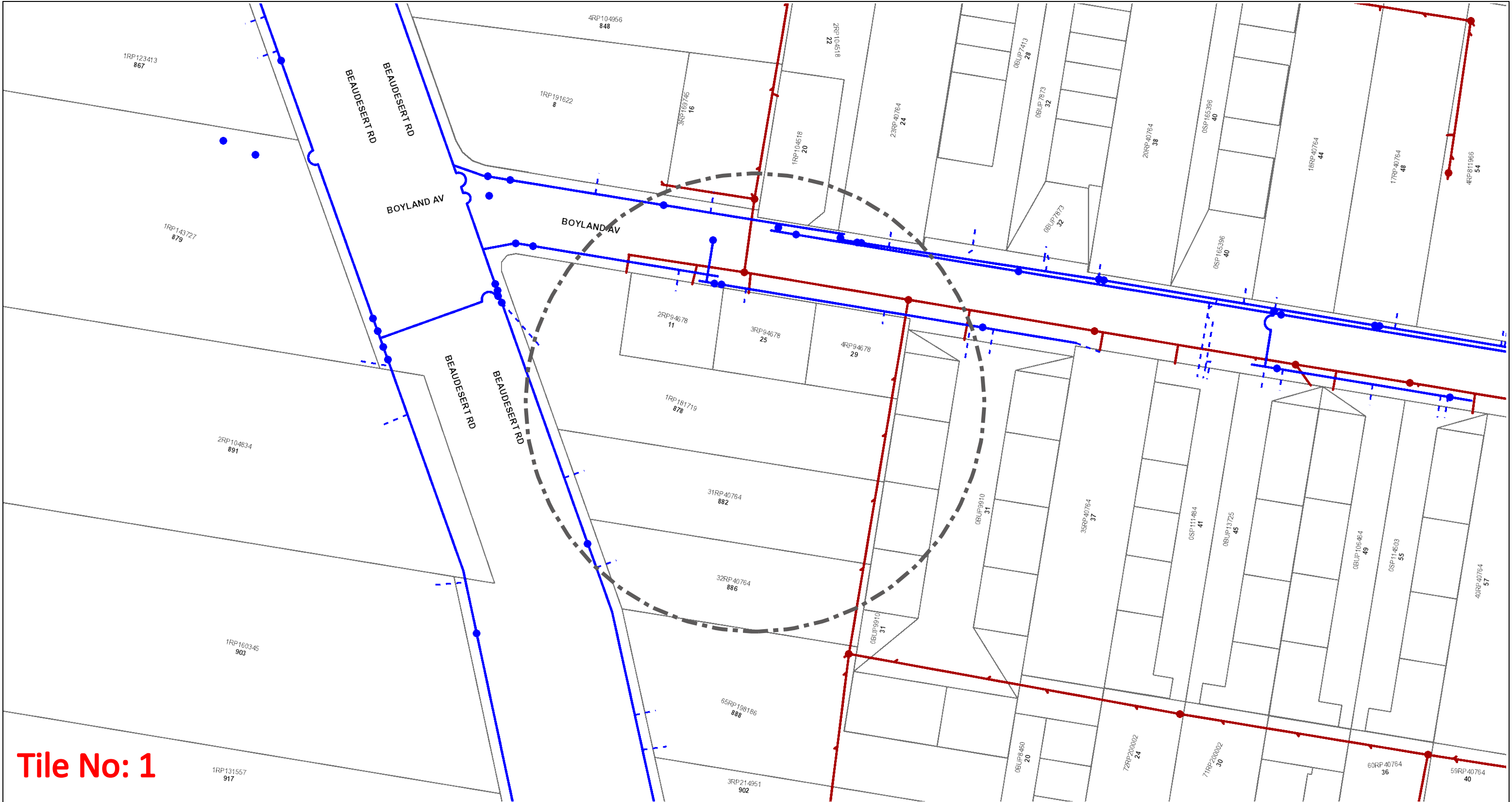
PLUMBING LAYOUT - GND
1:100

PLUMBING LAYOUT - GND

WORKING DWGS

	Plans By : ALL-IN DESIGNS P/L ACN: 602 324 443 QBCC Lic: 15051194 ALL PROPRIETARY RIGHTS IN THE DESIGNS AND DRAWINGS, INCLUDING COPYRIGHT, DESIGN RIGHTS AND OTHER RIGHTS OF AN INTELLECTUAL PROPERTY NATURE, ARE AND SHALL REMAIN IN THE SOLE OWNERSHIP OF ALL-IN DESIGNS AND THAT NO RIGHTS OF SUCH NATURE ARE GRANTED TO THE RECIPIENT OF THIS DESIGN AND DRAWING. ALL-IN DESIGNS SHALL NOT BE CONSTRUED AS GRANTING OR CONFERRING ANY SUCH RIGHTS BY LICENCE OR OTHERWISE.		Issue	Issue Name	Date	GENERAL NOTES: FIGURED DIMENSIONS TAKE PREFERENCE, DO NOT SCALE FROM PLAN. IF IN DOUBT ASK. CONTRACTORS TO CHECK & VERIFY ALL INFORMATION. REPORT ANY ERROR OR OMISSIONS. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL PLANNING SCHEMES, BCA, AUSTRALIAN STANDARDS AND RELEVANT AUTHORITY REQUIREMENTS. FINISHED GROUND LEVELS ARE APPROXIMATES ONLY AND SHOULD BE CONFIRMED ONSITE. ALL STRUCTURAL DETAILIS TO ENGINEER'S SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS. CONCRETE FOOTING & SLAB CONSTRUCTION TO COMPLY WITH 'AS 2870 or BCA 3.2.5'. TERMITE TREATMENT TO COMPLY WITH PROVISIONS OF 'PART 3.13 OF THE BCA' AND WITH 'AS 3660.1'. TIMBER CONSTRUCTION TO COMPLY WITH 'AS 1864'. WET AREAS TO COMPLY WITH THE PROVISIONS OF 'PART 3.8.1 OF THE BCA'. ALL GLAZING AND INSTALLATION TO COMPLY WITH 'AS 1288 and AS 2047'. SMOKE ALARMS TO COMPLY WITH THE PROVISION OF 'PART 3.7.2 OF THE BCA'. ALL GLAZING TO COMPLY WITH 'AS 1288' GLASS IN BUILDINGS, & WITH 'AS 4055' FOR WINDOWLOADING. ALL WATER CLOSETS DOORS TO BE REMOVABLE IN ACCORDANCE WITH 'BCA 3.8.3'.	CLIENT:	GROLIFE RTO FACILITY 878 BEAUDESERT, COOPERS PLAINS	ISSUE:	DATE:	JOB NO:		
			B	WORKING DRAWINGS	17.11.2020				19/11/20	QU-0204			
										SHEET:			
										A3_901			

Urban Utilities - Water, Recycled Water and Sewer Infrastructure





Dial Before You Dig - Urban Utilities Water, Recycled Water and Sewer Infrastructure

DBYD Reference No: 109802924

Date DBYD Ref Received: 17/05/2021

Date DBYD Job to Commence: 20/05/2021

Date DBYD Map Produced: 17/05/2021

This Map is valid for 30 days

Produced By: Urban Utilities

Sewer

- Infrastructure
- ◆ Major Infrastructure
- Network Pipelines
- ▨ Network Structures

Water

- Infrastructure
- ◆ Major Infrastructure
- Network Pipelines
- ▨ Network Structures
- - - Water Service (Indicative only)



Map Scale
1:1000

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This plan should be used as guide only. Any dimensions should be confirmed on site by the relevant authority.

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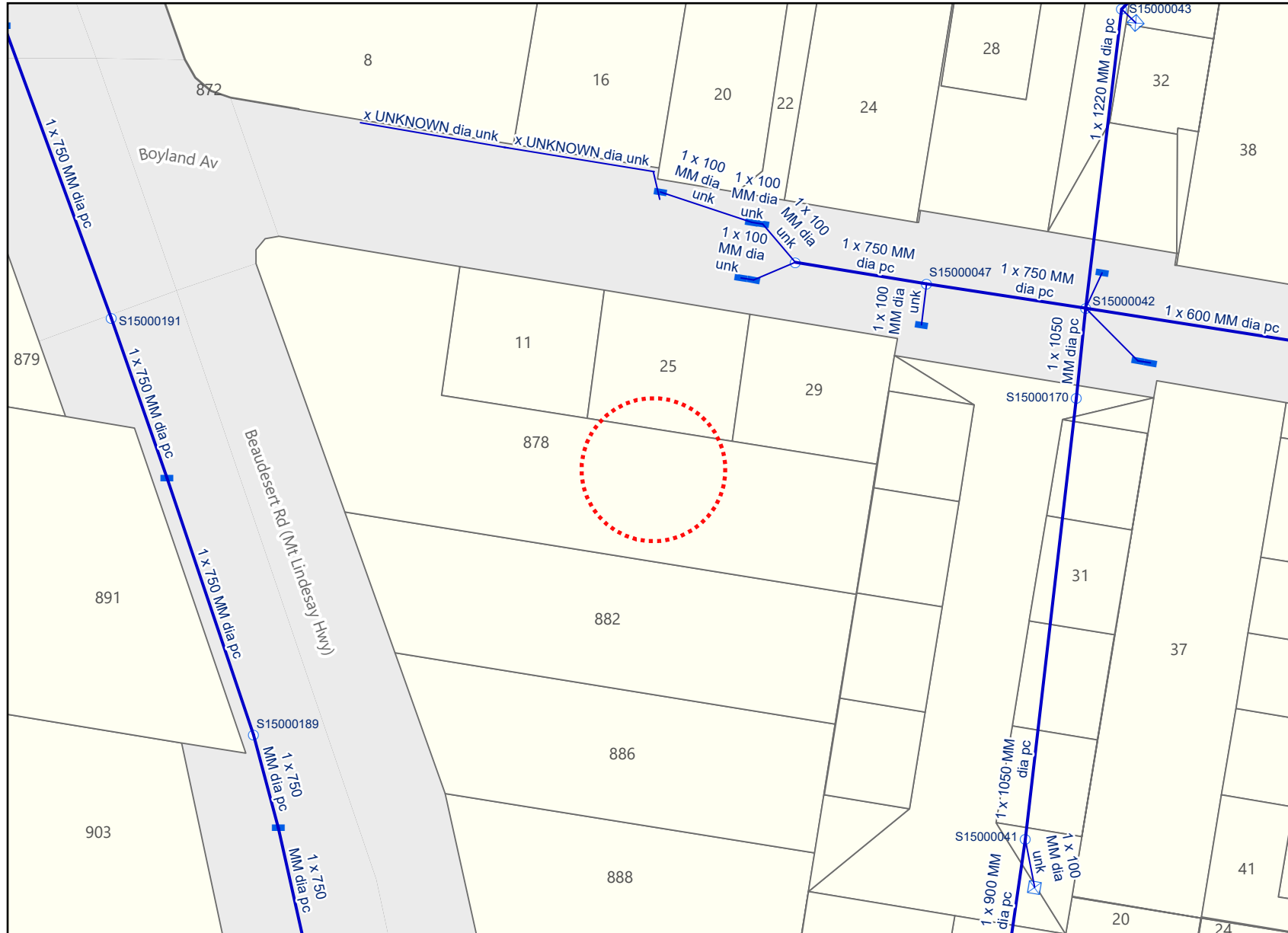
For further information, please call Urban Utilities on 13 26 57 (8am-6pm weekdays). Faults and emergencies 13 23 64 (24/7).

www.urbanutilities.com.au

ABN 86 673 835 011



Job # 21636573
Seq # 109802919
Provider: Brisbane City Council
Telephone: 07 3403 8888



Legend

- DBYD Enquiry
- Stormwater Network**
 - Stormwater Drain
 - Stormwater Gully / Roofwater Connection
 - Stormwater Maintenance Hole
 - Stormwater Gully Pit
 - Stormwater Field Inlet

Disclaimer:
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Caution: This map may contain the locations of abandoned underground asbestos pipes. Council gives no warranty to the completeness or accuracy of these records. Appropriate care needs to be taken in all cases.

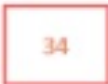
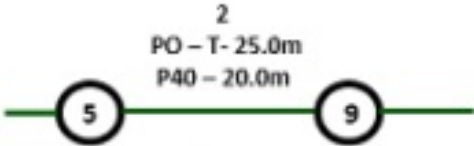
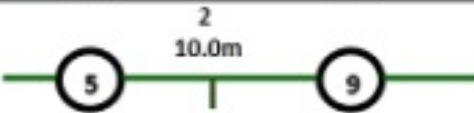
In an emergency contact Brisbane City Council on 07 3403 8888
17/05/21 (valid for 30 days)



Plans generated by
SmarterWX™ Automate



LEGEND

	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m 

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.