



BCA Construction Completion Certificate

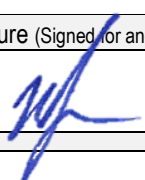
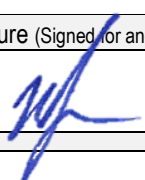
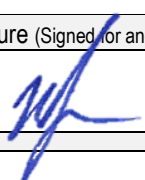
1. Type of Certificate	☒ BCA Construction Completion Certificate				
2. Owner details	Name (Natural Person or Company) Gladstone Ports Corporation Limited				
3. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (include no., street, suburb / locality & postcode) CQU Gladstone Marina Campus, 613 Bryan Jordan Drive CALLEMONDAH, QLD 4680 Lot & plan details (attach list if necessary) Lot 210 on SP120888 In which local government area is the land situated? Gladstone Regional Council				
4. Classification The building or part thereof described is classified as follows in accordance with Part A3 of the BCA having regard to the use for which it was designed, built or adapted. If a part of the building is classified differently to another part – state the part to which each classification relates.	<table><tr><th>Part of Building/Description</th><th>Class of Building/Part</th></tr><tr><td>Engineering Trade Training Centre</td><td>Class 9B</td></tr></table>	Part of Building/Description	Class of Building/Part	Engineering Trade Training Centre	Class 9B
Part of Building/Description	Class of Building/Part				
Engineering Trade Training Centre	Class 9B				
5. Max No. of people permitted If applicable, state the maximum number of people permitted in the building and the portion it applies to.	<table><tr><th>Part of Building/Description</th><th>Maximum population</th></tr><tr><td>Engineering Trade Training Centre</td><td>24 Staff 322 Students (232 male / 90 female)</td></tr></table>	Part of Building/Description	Maximum population	Engineering Trade Training Centre	24 Staff 322 Students (232 male / 90 female)
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Engineering Trade Training Centre	24 Staff 322 Students (232 male / 90 female)				
6. Restrictions on the use or occupation of the building If the building work uses a building solution within the meaning of Building Code of Australia or the Queensland Development Code, restricting the use or occupation of the building, state the restriction. For example, a limitation on the use of finishes with the fire hazard properties as defined under the Building Code of Australia.	Restrictions The following restrictions apply to the use or occupation of the building: - The building must only be used in accordance with the relevant Development Permits (and other statutory approvals) that apply to the Development. The building must be maintained to remain compliant with those Permits/Approvals. - Safety measures must be capable of performing to a standard no less than that which they were originally required to achieve. Safety installations must be maintained in accordance with AS1851 and any other relevant standard. Mechanical ventilation and hot water, warm water and cooling water systems must be adequately maintained to safeguard people from illness or injury. Services must continue to perform to a standard of energy efficiency no less than that which they were originally required to achieve. - This building is not approved to accommodate any materials that could cause special problems for fighting a fire because of the nature or quantity of materials stored, displayed or used in the building or on the allotment (BCA Clause E1.10). - Section 108A of the Building Act 1975 requires the Owner to ensure that this certificate is conspicuously displayed as near as practicable to the building's main entrance. - Adequate sanitary facilities for staff must be provided in the adjacent building in accordance with BCA F2.3. Access to these sanitary facilities must be provided to staff at all times the ETTC building is occupied.				

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7. Alternative Solutions	Alternative Solution Requirements The following systems and procedures form part of the alternative solution: <i>Performance Solution #1 – Prevention of the penetration of water through external walls</i> • Performance Requirement – BCA FP1.4 • Associated Deemed to Satisfy Clause (DTS) – Nil (there is no associated BCA DTS provision that satisfies BCA Performance Requirement FP1.4). • Description – BCA Performance Requirement FP1.4 requires a roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause- a) Unhealthy or dangerous conditions, or loss of amenity for occupants; and b) Undue dampness or deterioration of building elements.		
8. Exclusions	The following items are excluded from this BCA Compliance Statement: 1. Building Certifiers Australia did not receive confirmation that the building is located in a Flood Hazard Area or not or that a Defined Flood Level is declared by the local government, therefore compliance with the Building Act, NCC and QDC MP3.5 in relation to flooding is excluded from this Compliance Statement. 2. Building Certifiers Australia did not receive confirmation that there is any relevant infrastructure within 5m of the building and therefore compliance with QDC MP1.4 is excluded from this Compliance Statement.		
3. Fire Safety Installations & Special Fire Services Applicable to the Development	Fire Safety Installations Applicable to the Development <table border="0" style="width: 100%;"> <tr> <td style="vertical-align: top; width: 50%;"> 1 Structural features • Nil. 2 Fire protection systems • fire detection and alarm systems (not NCC required) </td><td style="vertical-align: top; width: 50%;"> 3 Fire fighting equipment • fire mains/fire hydrants • fire hose reels • fire extinguishers (portable) 4 Occupant safety features • exit door hardware • emergency lighting • exit signs 5 Other features • Nil. </td></tr> </table> Special Fire Services Applicable to the Development a) Fire mains/Fire hydrants b) Fire detection and alarm systems (not NCC required)	1 Structural features • Nil. 2 Fire protection systems • fire detection and alarm systems (not NCC required)	3 Fire fighting equipment • fire mains/fire hydrants • fire hose reels • fire extinguishers (portable) 4 Occupant safety features • exit door hardware • emergency lighting • exit signs 5 Other features • Nil.
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4. Certifier Statement	We have undertaken a Final Inspection and reviewed certificates and other documentation to establish that the building works are generally in accordance with the approved plans.		
5. Building Certifier If the certifier works for a company, a contact person must be shown.	<table border="0" style="width: 100%;"> <tr> <td style="width: 50%;"> Company name (if applicable) Building Certifiers Australia Pty Ltd Licence number A1165387 Signature (Signed for and on behalf of Building Certifiers Australia Pty Ltd)  </td><td style="width: 50%;"> Name of building certifier (in full) & Contact person Nick Sager Building Approval Reference Number 20170068 Date 18th December 2019 </td></tr> </table>	Company name (if applicable) Building Certifiers Australia Pty Ltd Licence number A1165387 Signature (Signed for and on behalf of Building Certifiers Australia Pty Ltd) 	Name of building certifier (in full) & Contact person Nick Sager Building Approval Reference Number 20170068 Date 18th December 2019
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