

CPCBC4007A

PLAN BUILDING OR CONSTRUCTION WORK

THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances whereby the Participant's answers will be documented by a party other than the Participant. This must be acknowledged in writing (e.g. in the Assessor Comments)
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- Assessors are to complete marking in pen of a different colour to the Participant.
- If a Participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a Participant changes their response in writing, they must put their initials next to the written change.
 - If a Participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name _____

Participant signature _____

Date _____

Assessor name _____

Assessor signature _____

Date _____

Number of questions	Number of questions answered correctly	Task outcome (Tick)	
		Satisfactory	Not Yet Satisfactory
45		☐	☐

Q1. Name one (1) document you might read alongside the contract to identify the following aspects:

- Material requirements
- Plant requirements
- On-site labour requirements
- Any unusual aspects of construction

Answer

Assessor's discretion. May include: Specifications



Q2. Name the Act and identify the section that outlines the maximum deposit amounts that may be accepted by a builder before services are provided. Identify the maximum deposit amounts and the penalties for breaching such requirements.

Answer

Section of Act	Requirements and penalties
Assessor's discretion. In Queensland: <i>Queensland Building and Construction Commission Act 1991 (Qld) Section 33</i>	The building contractor must not demand or receive a deposit under the contract of more than: - Level 1: 10% of contract price - Level 2: 5% of contract price - Level 1 or 2 under which the value of off-site work is more than 50% of the contract price: 20% of contract price Maximum penalty: 100 penalty points



Q3. Identify three (3) subcontractors you may engage for a job and the type of work they may undertake.

Answer

Subcontractor	Work
Assessor's discretion	Assessor's discretion
Assessor's discretion	Assessor's discretion
Assessor's discretion	Assessor's discretion



Q4. Which of the following methods may be used to find subcontractors for a project? Tick all that apply.

Answer

Choice	Possible Answers
☒	Advertising
☒	Networking
☒	Online searches
☒	Tenders
☒	Word of mouth



Q5. Explain the importance of determining subcontractor or plant availability for a job.

Answer

Subcontractors and plant have to be organised at specific times and are not simply hired for the entire job. As such, they need to be booked for specific times.



Q6. Identify two (2) methods you might use to find a supplier for materials.

Answer

Assessor's discretion. May include: Phone around or look online; Liaise with known suppliers; Use your regular suppliers



Q7. Name two (2) factors that may impact on the availability of materials.

Answer

Assessor's discretion. May include: Customised materials may need to be created; materials may need to be sourced from interstate or overseas.



- Q8. Australian Standards must be considered when selecting materials. Identify the Australian Standard (referenced in the National Construction Code) which relates to the requirements for interior lighting.

Answer

AS/NZS 1680



- Q9. Identify two (2) types of plant that may be used for a building project and identify the type of work they may be used for.

Answer

Plant	Work
Assessor's discretion	Assessor's discretion
Assessor's discretion	Assessor's discretion



- Q10. Identify two (2) types of equipment that may be used for a building project and identify the type of work they may be used for.

Answer

Equipment	Work
Assessor's discretion	Assessor's discretion
Assessor's discretion	Assessor's discretion



- Q11. Identify two (2) of the records you should keep when hiring plant and/or equipment.

Answer

Assessor's discretion. May include: Invoices, Insurances, Deposits,
Inspection details (upon arrival and after use)



Q12. Name five (5) temporary services that need to be organised for a building site.

Answer

Assessor's discretion. May include: Temporary electrical pole; Chemical toilet; Waste bin; Temporary fencing; Water tapping; Seepage barriers; Tiger strips; Barricades



Q13. True or False (Tick your response): Site accommodation should be provided where construction work occurs in a remote area.

Answer

✓	True
	False



Q14. What is required of a builder before any person is allowed on a building site? Tick all that apply.

Answer

Choice	Possible Answers
✓	To check the person has a Construction Induction Card
	To check the person has the approval of the local council
	To check the person is wearing appropriate signage
✓	To keep a record of all inductions and all personnel on the site



Q15. Who issues a construction induction card? Tick your response.

Answer

Choice	Possible Answers
	Australian Parliament upon fee payment
	Each site at the conclusion of a site induction
✓	Registered Training Organisations at the conclusion of training



Q16. Identify one (1) action you might take to facilitate site access for machinery.

Answer Assessor's discretion. For example: Excavation may need to be undertaken. 

Q17. Identify the Volume and Parts of the NCC that relate to access to buildings for Classes 1 and 10, and Classes 2 to 9.

Answer 

Classes 1 and 10	Classes 2 to 9
Volume 2, Part 2.5	Volume 1, Section D

Q18. You should contact your local council to be approved for out of hours construction. Identify the required documentation for an application and the timeframe for approval.

Answer Assessor's discretion. In Brisbane, a Construction Noise Management Plan must be submitted, as well as a copy of the letter to be provided to affected premises/residences. A minimum of 10 working days is required for Council to assess and application. 

Q19. In addition to the permit from Q18. identify two (2) other permits you may need to obtain to undertake a building project.

Briefly describe the documents required for approval and who these should be submitted to for approval.

Answer 

Permit	Documentation and approval body
Assessor's discretion	Assessor's discretion
Assessor's discretion	Assessor's discretion

Q20. True or False (Tick your response): Project commencement date is always at the date the contract is signed.

Answer

	True
✓	False



Q21. What document should be developed when purchasing supplies or construction materials?

Answer

Purchase order



Q22. True or False (Tick your response): Every delivery should be physically checked against the delivery sheet.

Answer

✓	True
	False



Q23. Who should be contacted if items are missing from a delivery?

Answer

Supplier



Q24. Name the Act and identify the section that outlines the requirement to implement hazard and risk management on site. Briefly describe the requirements.

Answer

Section of Act	Requirements
Assessor's discretion. In Queensland: <i>Work Health and Safety Act 2011 (Qld) s 17</i>	A duty imposed on a person to ensure health and safety requires elimination of risks, so far as is reasonably practicable or to minimise those risks so far as reasonably practicable.



Q25. Identify one (1) regulation that an organisation's WHS policies and procedures must comply with.

Answer

Assessor's discretion (e.g. *Work Health and Safety Regulation 2011 (Qld)*)



Q26. What document should be followed when disposing of hazardous materials?

Answer

Safety Data Sheet (SDS)



Q27. An asbestos removal control plan is required when more than ____m² of asbestos containing material is to be removed.

Answer

10



Q28. True or False (Tick your response): A site assessment should be undertaken if contamination is known or likely to be present from the removal of existing services.

Answer

☒	True
☐	False



Q29. True or False (Tick your response): Multiple projects can be planned using a single Gantt Chart.

Answer

☒	True
☐	False



Q30. What are the advantages of hiring subcontractors to work across multiple nearby projects? Explain with an example.

Answer

Assessor's discretion. Should follow: It saves time, as subcontractors are already on the job and do not have to leave and come back for the next stage of the project. For example, they can lay concrete while the concrete for another job is curing.



Q31. Provide one (1) example to explain why construction operations must be sequenced.

Answer

Assessor's discretion. The construction process sequence is very important when organising the required labour. For example, a plasterer should only be organised after all other trades have performed their tasks correctly – electricians and plumbers will not be able to access behind the walls as easily once the plasterer has put them up.



Q32. Which of the following should be considered as part of task sequencing? Tick all that apply.

Answer

Choice	Possible Answers
✓	Holidays
✓	Labour availability
✓	Plant availability



Q33. Order the following construction operations from 1 to 6 to form the most efficient sequence.

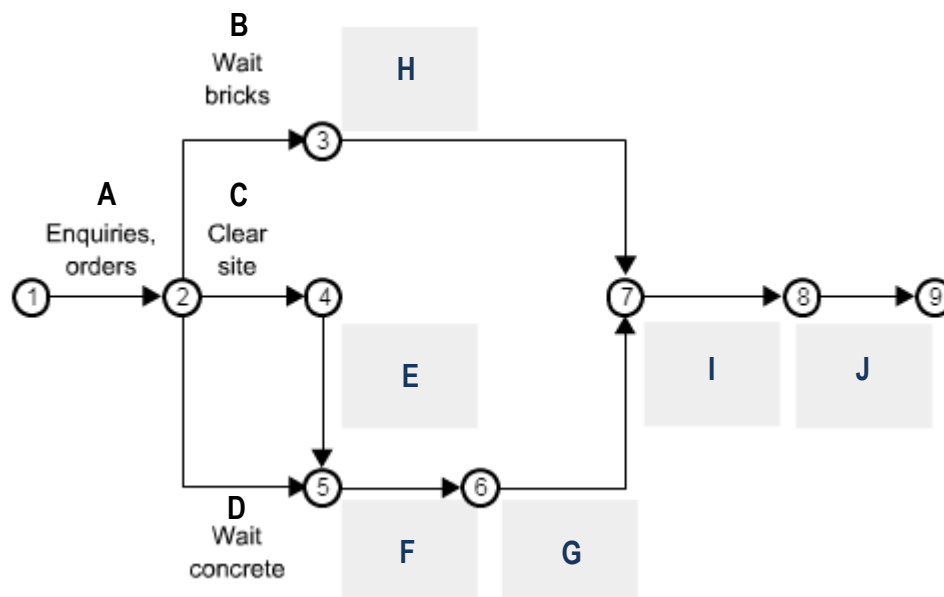
Answer

Step Number	Steps
2	Excavation of footings
4	Floor frame
3	Installing brick base
6	Roof trusses
1	Set out
5	Wall frames



Q34. Refer to the table below to complete the chart shown. Label the blank boxes with the appropriate Task ID letters.

Task ID	Task	Preceding event	Nodes
A	Make enquiries and order all materials required	Start	1
B	Wait for bricks, sand and cement to arrive	A	2
C	Clear vegetation from the site	A	2
D	Order concrete to be delivered	A	2
E	Dig the trench	C	4
F	Pour the footings	E	5
G	Footings curing time	F	6
H	Load the bricks on the site	B	3
I	Mix the mortar and lay the bricks	H	7
J	Clean rubbish from the area	I	8
	Finish	J	9



Answer



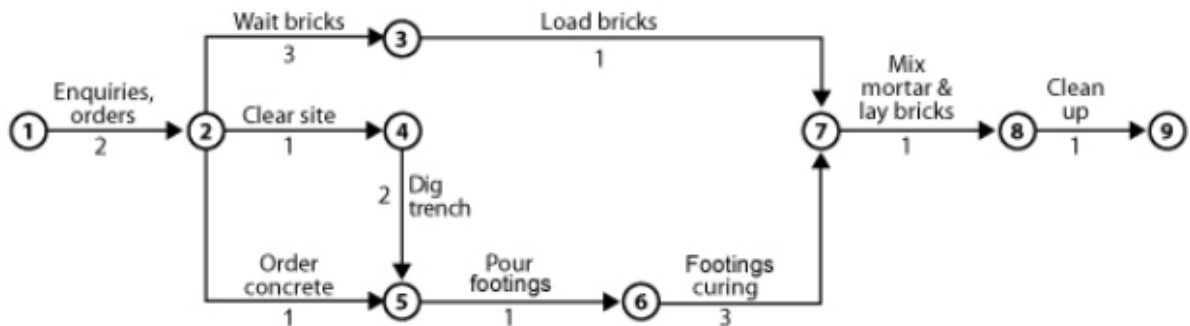
Q35. Name one (1) computer-based software package that may be used to prepare a project schedule.

Answer

Assessor's discretion. May include: Microsoft Excel, Microsoft Project



Refer to the chart below to respond to Q36. to Q40. This chart shows the task sequence for building a brick fence.



Q36. What is the total time for the process if the top path is taken?
Tick your response.

Choice	Possible Answers
☒	8 days
☐	9 days
☐	11 days

Q37. What is the total time for the process if the path through nodes 2, 4 and 5 is taken? Tick your response.

Choice	Possible Answers
☐	8 days
☐	9 days
☒	11 days

Q38. What is the total time for the process if the path through nodes 2, 5 and 6 is taken? Tick your response.

Choice	Possible Answers
☐	8 days
☒	9 days
☐	11 days

Q39. Describe the critical path.

Answer

1 → 2 → 4 → 5 → 6 → 7 → 8 → 9



Q40. True or False (Tick your response): Even if the brick delivery in the top path was late by two (2) days, it is possible that the job will still run on schedule.

Answer

☒	True
☐	False



Q41. Identify three (3) factors that may impact on the critical path of a project and cause it to need revision.

Answer

Assessor's discretion. May include: Poor project management; Delivery delays; Staff delays; Approval delays; Weather



Q42. Which major point(s) should you note when carrying out an inspection of neighbouring properties? Tick all that apply.

Answer

Choice	Possible Answers
☐	If the neighbours drive the right kind of car for that neighbourhood
☒	Structure and condition of any boundary fences
☒	Type and condition of all structures on the boundary
☐	Whether the houses are of Victorian heritage



Q43. Why should you take photographs of site boundaries with neighbouring properties?

Answer

Assessor's discretion. May include: To support your report. This will ensure that information is as accurate as possible in the event of a dispute with a neighbour.



Q44. When should a condition report be given to owners of adjacent buildings? Tick your response.

Answer

Choice	Possible Answers
☒	Before construction commences
☐	During construction
☐	After construction completes



Q45. When might a neighbouring property owner be required to refer to a condition report?

Answer

Assessor's discretion. May include: In the event of damage occurring to their property as a result of the construction process.

