

CPCCBC4012B READ AND INTERPRET PLANS AND SPECIFICATIONS

THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances whereby the Participant's answers will be documented by a party other than the Participant. This must be acknowledged in writing (e.g. Floor and Assessor Comments)
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- Assessors are to complete marking in pen of a different colour to the Participant.
- If a Participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a Participant changes their response in writing, they must put their initials next to the written change.
 - If a Participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name _____

Participant signature _____

Date _____

Assessor name _____

Assessor signature _____

Date _____

Number of questions	Number of questions answered correctly	Task outcome (Tick)	
		Satisfactory	Not Yet Satisfactory
87		☐	☐

Q1. Plans and specifications are used to inform which of the following processes? Tick all that apply.

Answer	Choice	Possible Answers	☐
	✓	Building contracts	
	✓	Development applications	
	✓	Estimation	
	✓	Planning	
	✓	Supervisory tasks	
	✓	Tenders	

Q2. Which compass direction is always shown on plans and drawings?

Answer The position of North relative to the site or building. ☐

Q3. What information is provided on a location plan?

Answer A Location Plan may be required if it is a big development so that the relative location of the site in a particular street is clear. It will show lot numbers, deposit plan numbers and a north point. ☐

Q4. What detail does a site or block plan contain?

Answer A site or Block Plan gives information including: ☐

- Site boundaries relative to proposed building and existing dwellings
- Street frontage names
- Major geological and topographical features (trees and vegetation)
- Datum points, contours and slopes
- Driveways, stormwater drainage, easements and right of carriage
- Soil and surface water drains, pipe sizes
- Service runs from the house to mains
- Details of paving and retaining walls

Q5. What do floor plans identify?

Answer

- Floor level (e.g. ground, garage, first floor)
- Room names and their internal sizes.
- Width of openings and thickness/type of walls, (e.g. brick, timber).
- Overall dimensions of the building, cupboards, halls and spaces.
- Position of fixtures (e.g. for wet areas such as bathrooms, kitchen and laundries, the position the bath, shower, toilet, cupboards, basins)
- Type of floor covering may also be shown.



Q6. What is a landscape plan and what information might it provide?

Answer

Landscape plans show soft and hard landscaping details like retaining walls and paths and garden layouts as well as types of flora including plants, shrubs, trees and flower and vegetable beds. These may be required for building or development approval and will indicate the extent, type and potential height of flora to be planted.



Q7. What are elevation views? What do they provide to the plan reader?

Answer

An elevation is a view you see when standing in front of that wall. It may be multi-storey or single-storey. Councils may require an elevation from each side of the proposed development and the view is indicated by north, south, east or west - e.g. If the wall is on the west side of the house, it is the west elevation. Elevations indicate finish to external walls and size of windows, doors and balconies.



Q8. What is a section?**Answer**

It is a vertical view slice through the building. The direction of section lines or arrows is usually shown on the plan to help interpret the sectional view.



Sections may be required to indicate:

- Overall height of the building
- Position of piers, beams, openings etc.
- Floor to ceiling heights
- Distance between finished floor and existing/proposed ground levels
- Construction details
- Scales same as plan.

Q9. What are detailed drawings?**Answer**

Detailed Drawings are used to illustrate the particular method of construction or finish required (e.g. structural steelwork, concrete work, brick work). They are usually drawn at scales that are easy to read.

**Q10. What are specifications?****Answer**

Specifications set out the minimum standards or codes necessary to obtain relevant sizes for all structural components. Specifications may also detail the fixtures and fittings. It will not indicate utilities such as water or electricity.



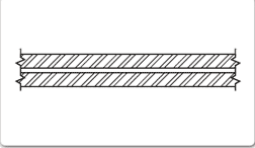
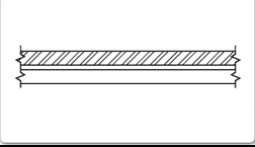
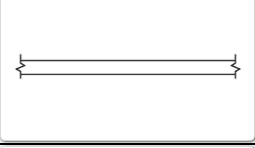
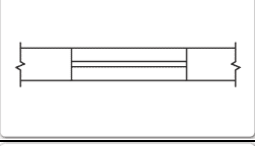
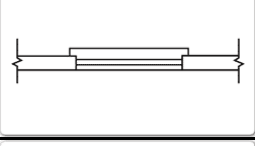
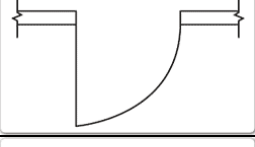
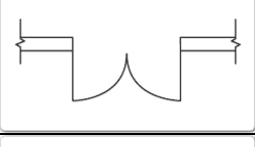
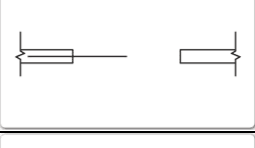
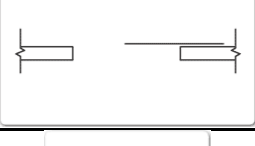
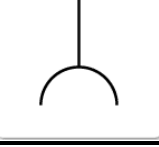
Q11. Explain the meaning of the abbreviations in the table below.**Answer**

Abbreviation	Meaning
ACRYL	Acrylic
AS	Australian Standard
ASSD	Assumed Datum
B	Basin
BN	Bull Nose
BTH	Bath
BWK	Brickwork
CB	Concrete Block
CF	Concrete Floor
CG	Clear Glass
CJ	Ceiling Joist
CORR	Corrugated
CWT	Cold Water Tank
DG	Double Glazing
DH	Double Hung
DPC	Damp Proof Course
DSB	Distribn. Switch Board
DW	Dishwasher
EJ	Expansion Joint
FPBD	Fibrous Plaster Board
FFL	Finished Floor Level
FHR	Fire Hose Reel
GPO	General Purpose Outlet
HBD	Hardboard
HTR	Heater
HWD	Hardwood



Q12. Name each of the drawing symbol images shown in the table below.

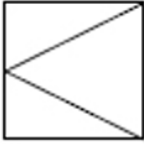
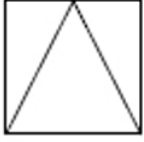
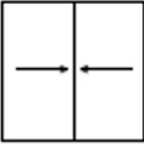
Answer

Name	Image
Cavity brick	
Brick veneer	
Wall – timber stud	
Window – in cavity wall	
Window – in single wall	
Door – swing angle	
Door – swing double	
Door – sliding into pocket	
Door – sliding exposed on wall	
Socket outlet – power general	



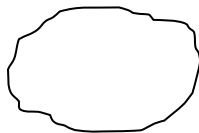
Q13. Identify what the following window symbols represent on elevations.

Answer

Item	Drawing
Hinged at side	
Hinged at top	
Sliding horizontally	
Fixed	



Q14. What does a clouded area on a plan indicate?



Answer

A Revision, a revised area, an amendment or a change in the plan.



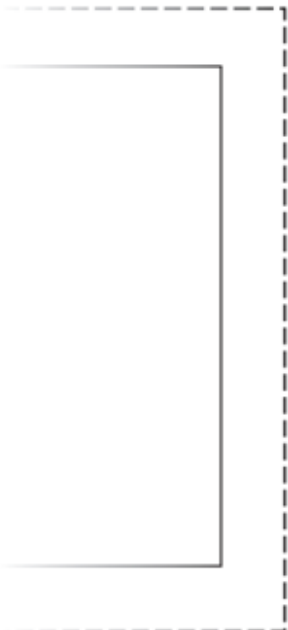
**Q15. An amendment to specifications could relate to which of the following?
Tick all that apply.**

Answer

Choice	Possible Answers
	Contact details of all construction crew members
✓	Materials or products used
✓	Methods of carrying out specified work



Refer to the title block below to respond to Q16. to Q18.

	Site address: LOT 437, SOUTH ST, MARYVILLE WA	
	Client: JM & KL JOHNSON	
	Project # 2012/15	Project name: JOHNSON RESIDENCE
	Builder: HOTSHOT HOMES	
	Drawn by: MW	Date: July 2011
	AMENDMENTS: 5/10/2011 Window added to study 8/11/2011 Bed 3 robe deleted	
Title: FLOOR PLAN	Scale: 1:100	
Drawing # 3 OF 7		

Source: http://www.dtwd.wa.gov.au/sites/default/files/teachingproducts/BC1934_CCBY.PDF

Q16. On what date was an amendment made to the window details?

Answer 05/10/2011 ☐

Q17. True or False (Tick your response): Details of the window in Q16. should also be reflected in the specifications and confirmed with the client.

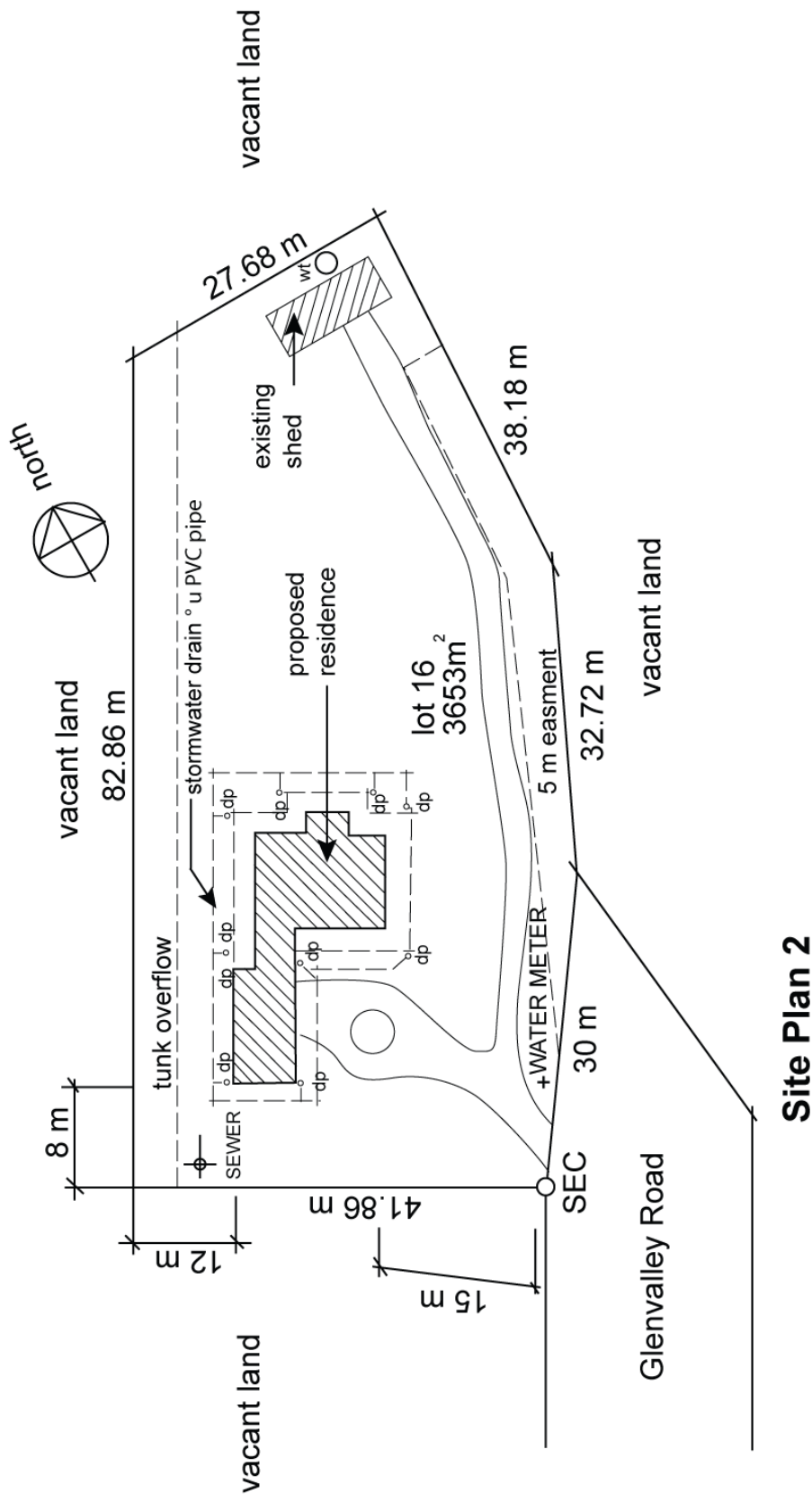
Answer

☒	True	☐
☐	False	

Q18. What amendment occurred on 08/11/2011?

Answer Bed 3 robe deleted ☐

Refer to the site plan below to respond to Q19. to Q26.



Site Plan 2

Clients : H&M Smith Lot 16 Glenvalley Road Richmond	North 	drawn : DJA date : 11/10/07 scale : 1 : 500 drg no : WD 9733 sheet 6 of 7	REVISIONS <table><thead><tr><th>NO</th><th>DATE</th><th>BY</th></tr></thead><tbody><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></tbody></table>	NO	DATE	BY													Joe Foreman Ph: 03 9514 2311 Mob: 0413 113 113 18 Fairview Road, Richmond 3216
NO	DATE	BY																	

Q19. What structure is being built on this site? Tick your response.

Choice	Possible Answers
✓	Residence
	Road
	Shed
	Water meter

☐

Q20. What is the Lot number of this site?

Answer 16 ☐

Q21. What is the size of this lot?

Answer 3653m² ☐

Q22. Is the shed at the north-east of the proposed structure to be removed or retained? Tick your response.

Choice	Possible Answers
	Removed
✓	Retained

☐

Q23. True or False (Tick your response): The sewer is at the eastern boundary of the property.

Answer

	True
✓	False

☐

Q24. True or False (Tick your response): The driveway is located to the south of the proposed property.

Answer

✓	True
	False

☐

Q25. What size is the easement on the eastern boundary of the site?

Answer 5m

☐

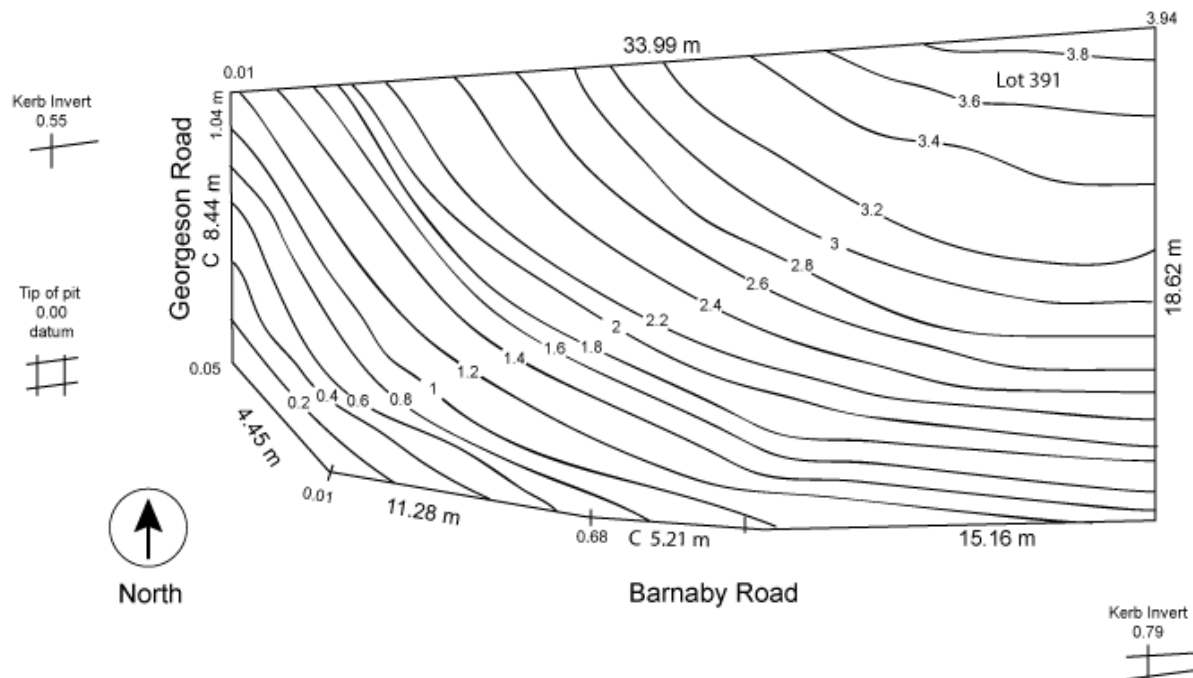
Q26. True or False (Tick your response): The stormwater drain is constructed from PVC pipe.

Answer

✓	True
	False

☐

Refer to the contour plan below to respond to Q27. to Q28.



Q27. What is the level at the northernmost point of the site?

Answer 3.94

☐

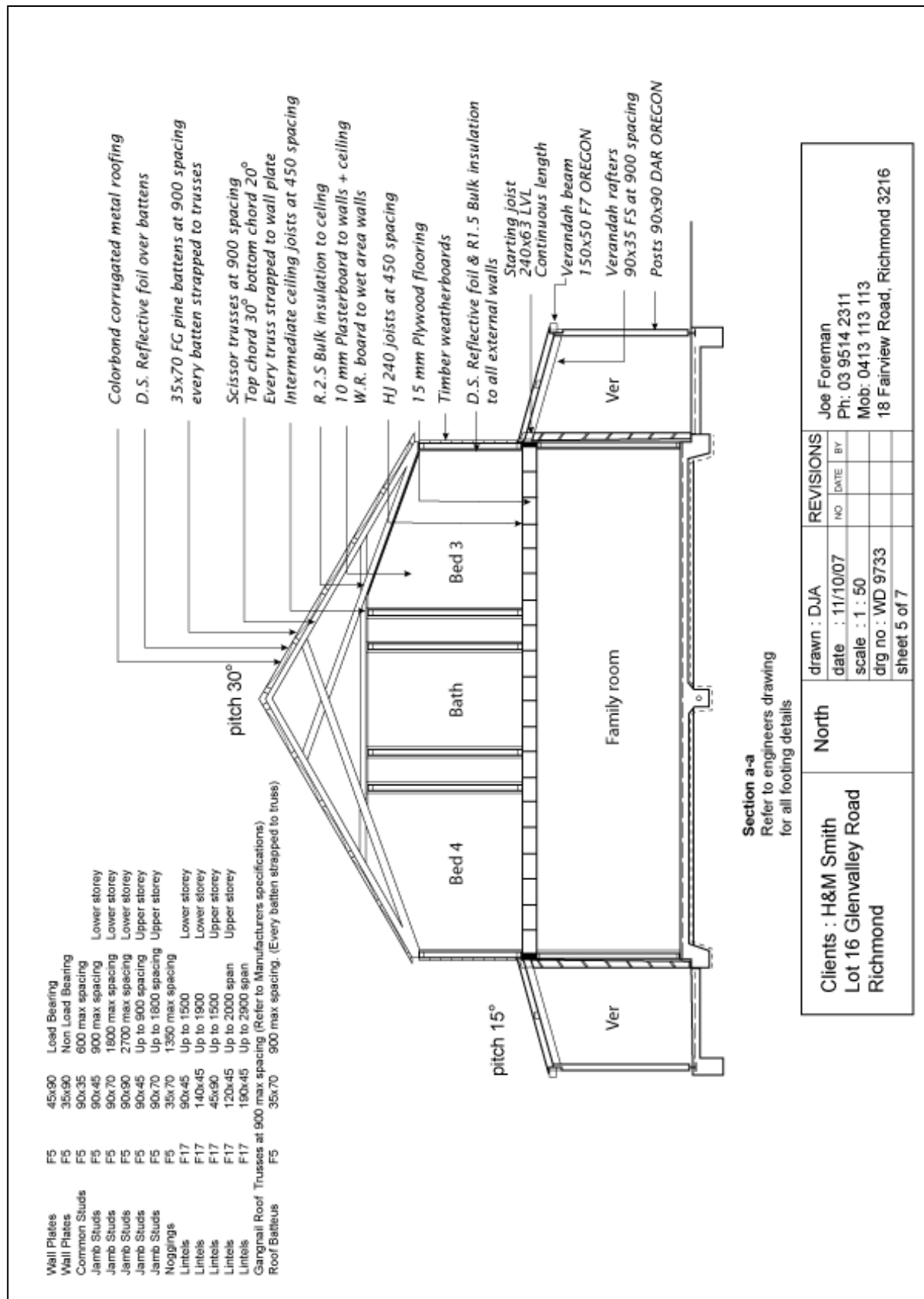
Q28. Which end of the site has the lowest level? Tick your response.

Answer

Choice	Possible Answers
	East
✓	West

☐

Refer to the sectional drawing below to respond to Q29. to Q49.



Q29. Give a brief description about the building from the detail available in the sectional drawing. Is it the same structure proposed in Q19. to Q26.

Answer Assessor's discretion. ☐

Yes, it is the same structure proposed in the site plan, as identified by

Drawing Number WD 9733.

Q30. Who is the client?

Answer H&M Smith ☐

Q31. Where is this project to be built?

Answer Lot 16 Glenvalley Road ☐

Richmond

Q32. What are the contact details for the draftsman?

Answer Joe Foreman ☐

Ph: 03 9514 2311

Mob: 0413 113 113

18 Fairview Road, Richmond 3216

Q33. What sheet number is this drawing?

Answer 5 of 7 ☐

Q34. What timber is required for loading and non-load bearing walls?

Answer Pine ☐

Q35. What spacing is recommended for common studs?

Answer 600 max spacing ☐

Q36. What type of roof truss is to be installed?

Answer Scissor trusses at 900 spacing ☐
Top chord 30° bottom chord 20°
Every truss strapped to a wall plate

Q37. What centres are the trusses positioned at?

Answer 900mm centres ☐

Q38. What size are the veranda posts?

Answer 90x90 ☐

Q39. What timber species are the veranda posts to come from?

Answer Oregon ☐

Q40. What pitch is the roof?

Answer 30° ☐

Q41. What size are the noggings and at what spacing?

Answer 35x70 ☐
1350 max spacing

Q42. What size are the ceiling joists?

Answer HJ 240 joists ☐

Q43. What timber is used for roof battens and what spacing?

Answer Pine battens at 900 spacing ☐

Q44. What thickness is the plasterboard sheeting?

Answer 10mm plasterboard to walls + ceiling ☐

Q45. What type of flooring is to be installed?

Answer 15mm plywood flooring ☐

Q46. What is the roof cladding material?

Answer Colorbond corrugated metal roofing ☐

Q47. Where will you find information about the footings?

Answer Refer to engineer's drawing for all footing details ☐

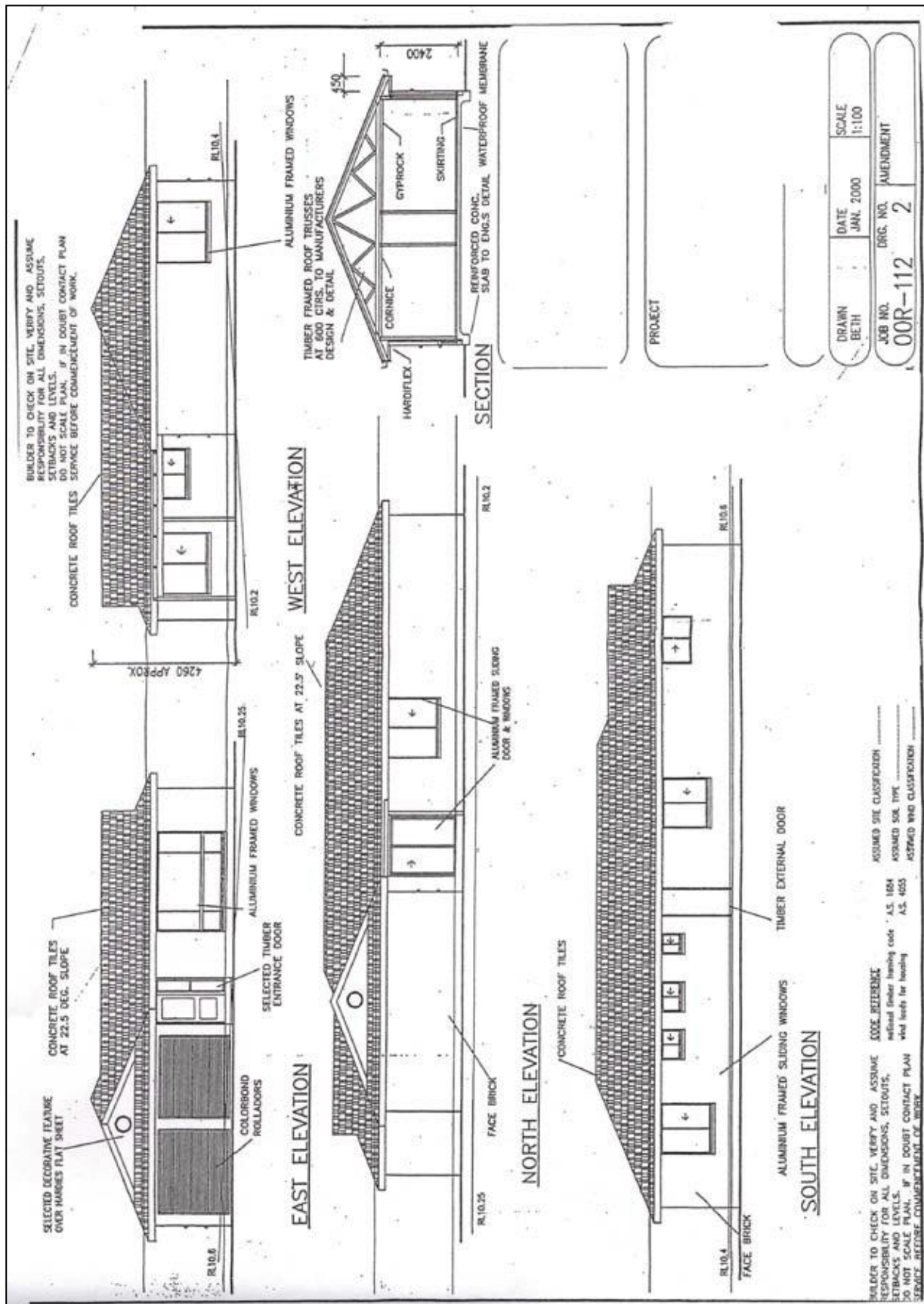
Q48. What do the letters 'DAR' refer when timber ordering?

Answer Dressed All Round (i.e. planed smooth on all surfaces). ☐

Q49. Explain what '240 x 63 LVL' refers to on the sectional drawing. What do the letters 'LVL' refer to?

Answer This is a reference to Laminated Veneer Lumber measuring 240 millimetres ☐
x 63 millimetres. The LVL product is used as the starting joist between
Family Room and Verandah.

Refer to the drawing below to respond to Q50. to Q65.



Q50. What is the number of the drawing?

Answer 2 ☐

Q51. What is the Job Number?

Answer 00R -112 ☐

Q52. What is the scale of the drawing?

Answer 1:100 ☐

Q53. What does the drawing show?

Answer North, South, East, West Elevations and one Section ☐

Q54. Which view shows the front of the house?

Answer East elevation ☐

Q55. How many motor vehicles can be parked in the garage?

Answer Two ☐

Q56. What are the window and doors made from?

Answer Aluminium framed ☐

Q57. What is the size of the eaves?

Answer 450mm ☐

Q58. What are the eaves lined with?

Answer Hardiflex sheeting ☐

Q59. What type of roof structure is the roof built from?

Answer Timber framed roof trusses ☐

Q60. Which Part of the NCC should be read for more detail about the requirements for the roof structure in Q59. ?

Answer NCC Volume 2: Part 3.4.3.0 ☐

Q61. Which Australian Standard should be read for more detail about the roof structure in Q59. ?

Answer AS 1720 ☐

Q62. What is the roof cladding materials made from?

Answer Concrete roof tiles ☐

Q63. Which Part of the NCC should be read for more detail about the roof cladding materials in Q62. ?

Answer NCC Volume 2: Part 3.5.1.2 ☐

Q64. Which Australian Standard should be read for more detail about the roof cladding materials in Q62. ?

Answer AS 2049 ☐

Q65. What is the roof pitch?

Answer 22.5 degrees ☐

Q66. Identify one (1) regulatory body you may need to submit plans to for approval?

Answer

Assessor's discretion. For example: City Council

☐

Q67. Briefly describe the approval process and timeframes for an approval through the regulatory body in Q66.

Answer

Assessor's discretion.

☐

Q68. What is a prime cost (PC) item? Give an example.

Answer

Prime costs are those costs that the builder can't reasonably be expected to put an exact figure on when tendering for the job.

For example, in certain areas the builder may allow a prime cost of so much per cubic metre if rock is encountered during the excavation work. If none is found, then the client doesn't pay any extra, but if it is, the builder will be reimbursed for any extra costs that may arise.

☐

Q69. What is a provisional sum (PS) item? Give an example.

Answer

Provisional sum items are such things as the oven, bath, toilet suite, tiles and so on, which may not have been selected by the time the contract is signed. In that case, the builder will allow a certain amount in the contract (perhaps \$600 for the oven and \$40 per square metre for the ceramic tiles). When these items are eventually selected by the client, the contract price will be adjusted up or down according to the actual cost.

☐

Refer to the Bill of Quantities below to respond to Q70. to Q76.

	Organized Builders Estimating Solutions Bill Summary	Page 1 of 2 7 October 2011
---	---	---------------------------------------

Web2Stem Website Template 2 storey
 Organized Builders
 P.O. Box 5280 Frankston South 3199
 0413 770 956

Cost Centre		Amount	
01	PRELIMINARIES	\$21,239.00	5.9%
01A	Preliminary Stage	\$0.00	.0%
02	SITE PREP & DEMOLITION	\$6,010.00	1.7%
03	HIRE ITEMS	\$8,909.70	2.5%
04	SET OUT	\$1,350.00	.4%
05	POWER PROVISION	\$2,670.00	.7%
06	WATER CONNECTION	\$1,550.00	.4%
07	SEWERAGE & STORMWATER	\$9,400.00	2.6%
01 - Prelims		\$51,128.70	14%
08A	Base Stage	\$0.00	.0%
08	PUMP & CRANE HIRE	\$2,070.00	.6%
09	TERMITE CONTROL	\$700.00	.2%
13	FOUNDATION PACKAGE	\$19,079.00	5.3%
17	STRUCTURAL STEEL	\$12,000.00	3.3%
02 - Base		\$33,849.00	9%
20A	Frame Stage	\$0.00	.0%
20	FRAME TIMBER	\$5,127.16	1.4%
22	FLOOR TRUSSES	\$2,249.60	.6%
23	ROOF TRUSSES	\$3,360.00	.9%
24	WINDOWS ALUMINIUM	\$25,541.00	7.1%
29	FRAME CARPENTER	\$7,336.00	2.0%
03 - Frame		\$43,613.76	12%
30A	Lockup Stage	\$0.00	.0%
31	METAL ROOF	\$16,538.90	4.6%
32	RENDERING	\$9,096.00	2.5%
34	BRICK SUPPLY	\$3,276.00	.9%
35	BRICK SAND	\$600.00	.2%
36	STEEL LINTELS	\$828.52	.2%
38	BRICKLAYER	\$8,460.00	2.4%
39	ELECTRICIAN	\$152.01	.0%
40	INTERCOM & SECURITY	\$1,200.00	.3%
41	PLUMBER	\$6,775.00	1.9%
42	DUCTED HEATING & COOLING	\$18,900.00	5.3%
43	INTERNAL LOCKUP MATERIALS	\$921.85	.3%
45	INTERNAL LOCKUP CARPENTER	\$2,400.00	.7%
46	WALL INSULATION	\$3,285.50	.9%
47	EXTERNAL LOCKUP MATERIALS	\$1,938.70	.5%
48	EXTERNAL LOCKUP CARPENTER	\$11,770.00	3.3%
04 - Lockup		\$86,142.48	24%
50A	Fixing Stage	\$0.00	.0%



Organized Builders Estimating Solutions
Bill Summary

7 October 2011

Web2Stem Website Template 2 storey
 Organized Builders
 P.O. Box 5280 Frankston South 3199
 0413 770 956

<u>Cost Centre</u>	<u>Amount</u>	
50 PLASTERER	\$12,900.00	3.6%
51 STAIRCASE & BALUSTRADE	\$7,000.00	1.9%
52 CABINET MAKER	\$22,000.00	6.1%
53 SINKS & BASINS	\$2,086.03	.6%
54 FIX MATERIALS	\$2,010.69	.6%
55 FIX CARPENTER	\$3,631.60	1.0%
56 INTERNAL TILE SUPPLY	\$6,100.00	1.7%
57 INTERNAL TILER	\$7,398.80	2.1%
58 PAINTER	\$16,075.90	4.5%
59 SHOWER SCREENS & MIRRORS	\$1,448.00	.4%
61 TOILET SUITES	\$1,500.00	.4%
05 - Fixing	\$82,151.02	23%
61A Completion Stage	\$0.00	.0%
62 KITCHEN APPLIANCES	\$2,700.00	.8%
63 HOT WATER SUPPLY	\$2,408.80	.7%
64 TAPWARE SUPPLY	\$2,745.00	.8%
67 GARAGE DOOR SUPPLY	\$1,437.84	.4%
68 HOUSE CLEANER	\$1,088.00	.3%
71 CARPET, VYNIL & FLOATING FLOORS	\$3,350.00	.9%
72 CLOTHES LINE & MAILBOX	\$700.00	.2%
73 WINDOW FURNISHINGS	\$5,000.00	1.4%
74 FENCING	\$4,665.50	1.3%
76 LANDSCAPING	\$12,000.00	3.3%
78 OFFICE FEES & COSTS	\$26,000.00	7.2%
06 - Completion	\$62,095.14	17%
Total	\$358,980.10	
Contingency Sum 1.0%	\$3,589.80	
Profit & Overheads 18.0%	\$65,262.58	
GST 10.0%	\$42,783.25	
Total	\$470,615.73	

Prices do NOT include GST

Q70. True or False (Tick your response): This Bill of Quantities represents a job for a two-storey house.

Answer

✓	True
	False

☐

Q71. Identify two (2) materials being used for the floors?

Answer

May include: Carpet, Vinyl & Floating floors

☐

Q72. True or False (Tick your response): A landscaper has been contracted for this job.

Answer

✓	True
	False

☐

Q73. How much does the contracted plasterer cost?

Answer

\$12,900.00

☐

Q74. How much do the kitchen appliances cost?

Answer

\$2,700.00

☐

Q75. What percentage of the total cost does the fixing stage represent of the building contract?

Answer

23%

☐

Q76. What percentage of the total cost does the completion stage represent of the building contract?

Answer

17%

☐

Refer to the Purchase Order below to respond to Q77. to Q82.

	Organized Builders Estimating Solutions A.B.N. 36089592003 info@organizedbuilders.com.au P.O. Box 5280 Frankston South 3199 0413 770 956	Page 1 of 2 7 October 2011
---	---	---

Purchase Order No Web2Stem/20

Delivery Date

Order Date 7/10/2011:

TO

TO BE ALLOCATED TO

JOB

Organized Builders
P.O. Box 5280 Frankston South 3199
0413 770 956

Supervisor Builder
Job Type Two Storey

Please Supply: FRAME TIMBER

Reference	Description	Quantity	Units	@	Amount
	Frame timber	1		\$0.00 *	\$0.00
	Ground floor walls and beams to ceiling / floor				
	Pine 90 x 35 mgp10 (long lengths)	130	m	\$1.00 *	\$130.00
	Pine 90 x 45 mgp10 (Long Lengths)	120	m	\$1.00 *	\$120.00
	Pine F5 90 x 45 studs 2.4 m long	100	each	\$1.00 *	\$100.00
	Studs Cut to mm				
	Pine F5 90 x 45 studs 2.7 m long	45	each	\$1.00 *	\$45.00
	Studs Cut to mm				
	Pine 90 x 45 mgp10 (Long Lengths)	322.5	m	\$1.00 *	\$322.50
	studs over 2.7				
	80/3.0 25/3.3				
	90 x 45 KDHW F17	189.3	m	\$1.00 *	\$189.30
	15/5.4 1/2.7 2/9 9/3.0 22/2.4 8/3.0				
	140 X 45 KDHW F17	70.8	m	\$1.00 *	\$70.80
	13/3.6 7/2.4 4/1.8				
	240 X 45 KDHW F17	40.5	m	\$1.00 *	\$40.50
	alternate option / better to use E14 beams in lieu of F17				
	7/3.6 2/3.3 1/2.1 1/1.5 1/1.2 1/3.9				
	240 X 45 KDHW F17	22.8	m	\$1.00 *	\$22.80
	Must be H2 treated				
	2/3.6 4/3.9				
	290 x 45 F17 KDHW	71.4	m	\$1.00 *	\$71.40
	6/3.9 2/3.3 4/4.2 6/3.6 1/1.2 1/1.8				
	Sheet brace 2400 x 1200 4mm Ply	3	sheet	\$1.00 *	\$3.00
	Sheet brace 2700 x 1200 4mm Ply	6	sheet	\$1.00 *	\$6.00
	Sheet brace 3000 x 1200 4mm Ply	4	sheet	\$1.00 *	\$4.00

This Order is subject to our Standard Notes and Conditions. Authorised by:

Organized Builders

c2011 Databuild www.databuild.com.au 2 - 35 C:\Program Files (x86)\Databuild\reports\IC10ords4.rpt Scott May 09:13

Source: <http://organizedbuilders.com.au/sites/default/files/Databuild-Bill-of-Quantities.pdf>

Q77. How many Pine F5 90 x 45 studs (2.4m long) are required?

Answer 100 ☐

Q78. If the material in Q77. increased in cost to \$2.75 each, what would be the total cost for this material?

Answer \$2.75 x 100 ☐
= \$275.00

Q79. How many sheet of ply are required in total (i.e. all sizes)?

Answer 13 sheets ☐

Q80. What material has the highest total cost?

Answer Pine 90 x 45 mgp10 (Long lengths) ☐

Q81. How many metres are required of the material in Q80. ?

Answer 322.5m ☐

Q82. What beam is identified as being a better option than F17?

Answer E14 ☐

Refer to the labour chart below to respond to Q83. to Q86.

LABOUR		Registered (for des trac
BUILDING WORKS		Skilled Worker
<i>Per hour</i>		A \$
17001	Asphalter (Road Construction).....	107.40
17002	Bamboo Scaffolder.....	187.20
17003	Bar Bender and Fixer.....	214.30
17004	Bricklayer.....	136.70
17005	Builder's Lift Operator.....	-
17006	Carpenter (Formwork - Building Construction).....	201.10
17007	Concrete Repairer (Spalling Concrete).....	185.60
17008	Concretor.....	194.50
17009	Construction Plant Mechanic.....	150.60
17010	Demolition Worker.....	165.60
17011	Drainlayer.....	166.00
17012	Floor Layer.....	139.20
17013	General Welder.....	152.00
17014	Glazier.....	154.80
17015	Joiner.....	139.20
17016	Leveller.....	150.20
17017	Marble Worker.....	179.80
17018	Mason.....	146.10
17019	Metal Scaffolder.....	131.00
17020	Metal Worker.....	154.70
17021	Painter and Decorator.....	127.40
17022	Painter (Texture-Spray).....	-
17023	Pipelaye.....	166.00
17024	Plant and Equipment Operator (other than cranes)	129.60
17025	Plant and Equipment Operator (cranes generally).....	168.50
17026	Plasterer.....	154.70
17027	Plumber.....	140.20

Source: https://www.archsd.gov.hk/media/89170/sor2013_vol1_builders_works_2013_11_04.pdf

Q83. Based on the hourly rates given, which is the least expensive trade to contract?

Answer Asphalter (Road Construction) ☐

Q84. If the trade in Q83. were to be contracted for two (2) hours' work, how much would this cost?

Answer \$107.40 x 2 ☐
= \$214.80

Q85. Based on the hourly rates given, which is the most expensive trade to contract?

Answer Bar Bender and Fixer ☐

Q86. If the trade in Q85. were to be contracted for six (6) hours' work, how much would this cost?

Answer \$214.30 x 6 ☐
= \$1285.80

Q87. Name the building legislation (Act and Regulations) that apply within your jurisdiction and should be referenced when reading plans and building contracts.

Answer Assessor's discretion. For example, in Queensland: *Building Act 1975 and* ☐
Building Regulation 2021