

37 Spring Way
The Springs Estate
Nikenbah, QLD 4655
0408 677 633

Home Address

David & Barbara Wood

, QLD
Australia

Phone 0422 208 531

Build Address

David & Barbara Wood
Lot 50 Lavender Court
"The Springs Estate"
Nikenbah, QLD 4655
Australia

Phone 0422 208 531

Your Sales Consultant



**Courtney
Stallard**
0408 677 633

courtney.stallard@stroudhomes.com.
au

Thank you for choosing STROUD HOMES for your new home. We understand how important this decision is for you so we want to answer every question you have. Please feel free to ask! Ensure your sales consultant has noted each of your requests within your quote (even no cost changes).



EVERYTHING IS
BLACK & WHITE

Avoca 227 Classic Facade AV227



If you have any queries about this quote please contact your salesperson or just call our friendly staff on 07 4152 6969. This quote is subject to the final approval of the Manager and Director. This quote is valid until 27/10/2018 and pricing will be subject to change after this date.

Created on 9/10/2017 2:54:35 PM

1 of 13

Initial Notes

This quote must be accepted before 27/10/2018 after this date, the quote will become subject to a price review.

The original date this home was quoted was 14/01/2019.

Your quote is considered "accepted" when the full preliminary deposit has been paid, allowing Stroud Homes Wide Bay to proceed to contract with you.

If a Covenant / Building design approval is applicable please review your covenant to ensure the design you have chosen meets your covenant requirements.

Please ensure you deliver a copy of the covenant to us at Stroud Homes Wide Bay, we are happy to help you through this process.

Please be aware that the covenant is between the land seller and the land buyer – Stroud Homes will take care to ensure your home complies with the information that is provided to us.

In our day to day dealings with customers like yourself, we have the opportunity to learn about our competitor's proposals. We have become aware of several competitors who we believe are under-pricing their initial house price by up to \$40,000, then later overpricing the site costs by the same amount.

As you could imagine this practice causes their initial offer to appear extremely competitive and results in prospective customers eagerly placing a preliminary deposit and forming intention to proceed with that builder. From what we have been able to learn, the overpriced site costs are presented on the day the contract is signed at the builder's office. Many people feel they have committed too much time, effort and money into arranging the construction of their new home and thus proceed to sign the contract and agree to the inflated site costs.

At Stroud Homes, we feel that this practice is not good for the industry. We take the view that we need to respect our customers intelligence, and provide accurate estimates of the homes costs wherever possible – and our customers will be able to decide whether the home is right for their budget.

Base Price

Avoca 227 Classic Facade AV227

\$261,758.76

Fully Loaded Inclusions

Highlight Inclusions

Stone 20mm Benchtops to Kitchen, Bathroom, Ensuite and Laundry
Cabinetmaker Laundry Unit with Stainless Steel Drop In Tub
LED Down Lights throughout the home
Tiled Porch
T2 Frames and Trusses
Ceiling Heights as per Design
Monolithic Slab – A, S & M Site Classification Allowance
In-house Colour Consultation with Qualified Colour Consultant
Fixed Price Contract – No PC Costs!!! No Price Increases during your build!
Guaranteed 16 Week Build Time
60m2 Driveway Exposed Aggregate
900mm Westinghouse Freestanding Cooker and Rangehood
Soft-close Drawers and Cupboards to Kitchen
Gas Instantaneous Hot Water System and Gas Cooktop Connection
Frameless Mirrors
Ceiling Mounted Shower Heads OR Rails

Performance

Independent handover inspection by handovers.com included
Guaranteed Start date (onsite within 7 days of council approval)
Guaranteed Build Time (16 Weeks approval to handover)
Up to 5 guided tours during your homes construction

General Inclusions

Building Fees, Levies and Insurance (included)
Energy Efficiency Report (included)
Internal House Clean / External Site Clean (included)
Quick-select colour palates or Sit-down Colour Consultation - your choice!

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 1800-STROUD. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Site Preparation and Foundations

Engineer's Soil test and Slab Design to suite A, S or M Type Soil (included)

Site works included (500mm Cut and Fill)

Structural and External

Non-slip tiles to porch

T2 Treated Timber Frames and Trusses

TV Antenna

Wind Rating – As Per Engineers Design

External Garden taps (2)

Verandah/Alfresco/Patio/Porch concrete – Monolithic Slab

Gas Instantaneous Hot Water System (instant gas 26ltr / mc / flow)

Termite Treatment (As Per Australian Standards 3660.1) Reticulation Perimeter System

Clothesline

External Finish

Render, paint and face brick to exterior walls (as per plan)

Roof material, fascia and gutter – 100% Bluescope Colorbond

Garage door - panel lift electric motor

Front Entry door – Humes Range

Front Facade windows (as per plan)

Plumbing & Drainage

Sewer line allowance (10 meters from house to connection point)

Storm water line allowance (10 meters from house to connection point)

Mains water line allowance (10 meters from house to connection point)

Poly Butylene water lines for internal plumbing

150mm Gutters

Electrical

Underground 16mm² single phase power 10 meters from house to connection point

Telephone cable allowance (10 meters from house to connection point)

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 1800-STROUD. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Created on 16/02/2018

Internal power points (as per plan)
Light points (as per plan)
Light Fittings (as per plan)
T.V. points (2 or as per plan)
Telephone points (1 or as per plan)
Earth leakage circuit breakers (2 included, power and lighting circuits))
Smoke detectors - wired to mains supply (2 or as per plan)
Clipsal Airflow exhaust fans to ensuite and bathroom

Internal

Skirting - Painted FJ Pine 68x11mm Splayed
Architraves - Painted FJ Pine 42x11mm Splayed
Cornice - 75mm Cove
Wet areas walls - 6mm Villaboard
Ceiling Heights (as per plan)
Ceramic Floor Tiles to Main Floors
Carpet to Bedrooms and Media Room (10mm Underlay)

Roofing

Fascia and Gutter – 100% Bluescope Colorbond
Round PVC downpipes
Roof pitch - As per plan
Roof Material – 100% Bluescope Colorbond
6 star energy rating - Guaranteed
Eave Width - As per plan

Windows, Doors and Locks

Front door – Humes Range (Clear or Frosted Glass available)
Front Entrance Lock and Handle - Gainsborough Tri-lock Lever
Sliding Doors and Windows – Grey Tint Glass
Internal Doors – Redicote Internal Doors
Garage Door – Panel lift with Cyclone Locks and Electronic Keys

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 1800-STROUD. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Robes and Linen Cupboards

Master Suite – 2 x Sets of White Melamine Shelving with Top Shelf and Hanging Rail

Bedroom Robes - White Melamine Top Shelf with hanging rail

Pantry and Linen - 4 White Melamine shelves (if applicable to plan)

Broom Cupboard - White Melamine Top Shelf (if applicable to plan)

Laundry

Tapware – Posh Bristol Mk2 Sink Mixer

Laundry tub - 45litre Stainless Steel bowl to cabinet maker unit

Up to 600mm Tiled splash back

Painting

3 Coat paint system throughout the home

Skirting, Architraves, and Doors - Gloss

Walls - Low Sheen

Feature Walls included

Kitchen

900mm Free Standing Stove WFE914SA (gas cooktop/electric oven)

900mm Canopy Rangehood WRF900CS

Stainless Steel Dishwasher DSF610SX

20mm Stone Benchtops

Soft Close Kitchen Drawers and Cupboards

Kitchen Mixer – Mizu Soothe Sink Mixer attached to stone

Kitchen Sink – Undermount Double Bowl

Tiled splashback full height to bulkheads

Cupboards and Doors – Laminated Polytec with 2mm PVC Edge

Draws - See our detailed Kitchen Plans!

Overhead Cupboards - See our detailed Kitchen Plans!

Bulkheads

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 1800-STROUD. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Created on 16/02/2018

Bathroom, Ensuite and W.C.

Tapware – Mizu Soothe Basin Mixer

Toilet - Ceramic close coupled – Back to Wall - soft close seat

Vanity basins – Diverta 500 Semi Recessed

20mm Stone Benchtops with 200mm apron

Frameless Vanity mirror - 900mm high x full length vanity

Shower - Recessed - Tiled

400mmx400mm Tiled Niche in each wet area

Ceiling mounted Shower rose or rail

Shower and Bath - Mizu Soothe Shower Mixers

Shower screens - Clear Glass shower screens up to 2mtr fully framed

Towel rail - 600mm double & WC Holder in Chrome

Bathtub – Base Acrylic Bath 1520 x 715 White

Bathtub Spout – Posh Solus Swivel Bath Outlet Chrome

Driveway

60m2 of Exposed Aggregate Finished Concrete to driveway access, path to house from driveway, gas bottle pad and clothesline

Exclusions

- Air conditioning
- Security alarms
- Window treatments
- Fencing
- Retaining walls
- Landscaping, turf & watering systems
- Paving, pergolas, optional patios, and optional BBQ's unless specified by way of a variation
- Tiling to Verandahs, and Alfrescos – Broom Finish Only
- Spa Bath – to be supplied by owners – connection included

IMPORTANT NOTES....

The Company reserves the right to alter its plans, specifications and prices without notice.
THIS INCLUSION LIST SUPERCEDES ALL OTHER INCLUSION INFORMATION PRINTED OR POSTED IN ANY LOCATION.

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 1800-STROUD. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Qty	Description	Unit Price (Inc. GST)	Unit	Price (Inc. GST)
1	N3 - This quote allows to design your frame to an N3 wind rating. The wind rating of your home is on our soil tests as determined by the engineer.	\$0.00	ea	\$0.00
1	Bitumen road site access: This quote is based on bitumen road site access. Stroud Homes will install a rubble strip to minimize mud tracking onto the road (usually in front of the garage)	\$0.00	ea	\$0.00

Site Allowances

1	No Travel Required	\$0.00	ea	\$0.00
1	Standard A, S or M Slab part of your standard inclusions.	\$0.00	ea	\$0.00
1	Our standard inclusions allow for up to 500mm cut & fill.	\$0.00	ea	\$0.00

There has been no rock excavation allowance included in your quote.

Site inspection reveals no trees on the building site. No allowance has been made to remove trees.

No retaining walls have been allowed for your site. If they are required to meet council approvals then a variation will be required to continue.

No spoil removal allowance has been allocated to your site.

Q What is spoil removal? When and why is it required?

A Spoil removal is often required on sites under 1200m² and more frequently on sites that require a Home Sewerage Treatment Plant or anytime when there is not enough room to spread out excess soil or rubble. Soil or rubble disturbed in various installations (plumbing and drainage, driveway excavations, retaining installs, pools - just to name a few examples) cannot be spread on site and therefore must be removed from site and dumped elsewhere.

This quote includes 60m² of exposed aggregate finished driveway concrete.

This concrete is also used to create pathways, gas bottle pads and clothesline pads.

Plumbing

This quote allows to connect to a full pressure water mains connection point within 10m of the house.

We understand that your home is not located in a dual-reticulation area and costs associated with dual-reticulation are not applicable.

Note: Homes built in dual reticulation areas require extra plumbing including:

- A) a second line into the home feeding the toilets and at least on outside tap
- B) extra backflow valve
- C) may require a second water meter

An allowance of 10lm from the house to the stormwater connection point is included with this quote.

Stormwater connection point may be one of the following:

- A: curb adapter: spilling onto street
- B: seepage pit: a pit, usually in the rear yard. Designed to absorb some of the stormwater into the ground.
- C: a water tank.

This quote allows for your home to be connected to "town sewer" up to 10 meters from the connection point.

BOTTLED GAS: We understand that you have bottled gas service to your land. Please correct us if this is incorrect.

Electrical

Your quote includes connecting to a single phase underground power supply within 10lm of the house.

We understand that NBN is not available to your land. As such no allowance has been made to connect to NBN.

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 07 4152 6969. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Qty	Description	Unit Price (Inc. GST)	Unit	Price (Inc. GST)
-----	-------------	--------------------------	------	---------------------

Client Variations

AMENDMENT 1

3.2	Provide Alfresco Mono Style Slab with Tiles Plaster Ceiling and Truss Roof to Front Porch	\$660.00	ea	\$2,112.00
2	Provide feature stone & timber post pillar to Front Porch (as per Display). Stone 1.8m high with render cap on top with up down light.	\$1,653.30	ea	\$3,306.60

AMENDMENT 2

1	Provide 180mm Scyon Linea Board cladding in lieu of face brick to exterior of Bedroom 1 stopping at Front Door at Nil Cost.	\$0.00	ea	\$0.00
---	---	--------	----	--------

AMENDMENT 3

1	Provide 1200mm SWING Door to Entry In Lieu Of 820mm Door (Savoy)	\$1,169.50	ea	\$1,169.50
1	Provide Frosted Glass to Front Door at Nil Cost	\$0.00	ea	\$0.00

AMENDMENT 4

1	Reduce Media Room into smaller Study to increase Bedroom 1 size at Nil Cost.	\$0.00	ea	\$0.00
---	--	--------	----	--------

AMENDMENT 5

Delete 1806 Sliding Window to Ensuite and provide 0415 Sliding Window in place.				
0.5	Delete Sliding Glass Window and Provide External Wall (Excludes Screens)	\$22.04	ea	\$11.02

AMENDMENT 6

1	Upgrade 1x 1806 Sliding Window to Double Hung Window in WIR.	\$92.68	ea	\$92.68
---	--	---------	----	---------

AMENDMENT 7

1	Delete 1x 1806 Sliding Window & 1x 1815 Sliding Window to Master Bedroom and provide 1821 Awning Window with 3 horizontal panels (bottom fixed and top two opening awnings) in place.	\$910.18	ea	\$910.18
---	---	----------	----	----------

AMENDMENT 8

1	Supply & Fit 400mm Tubelight Non-Vented to Ensuite WC.	\$907.50	ea	\$907.50
---	--	----------	----	----------

AMENDMENT 9

2	Provide 920mm Cavity Sliding Door unit includes Flush Panel Door Lock and Install to Study and Ensuite.	\$503.25	ea	\$1,006.50
---	---	----------	----	------------

AMENDMENT 10

1	Delete 2x 1806 Sliding Windows to Family and provide 2x 1809 Double Hung Windows in place.	\$83.60	ea	\$83.60
---	--	---------	----	---------

AMENDMENT 11

2.7	Delete Sliding Glass Window and Provide External Wall (Excludes Screens)	\$22.04	ea	\$59.52
1	Provide 21-18 Sliding Glass Door In Lieu Of External Wall (Excludes Screens)	\$74.81	ea	\$74.81
1	Delete Corner Post For Stacker Glass Doors. (Excludes Doors)	\$2,186.25	ea	\$2,186.25

AMENDMENT 12

**Delete Linen to increase size of Pantry and provide additional stone bench & cupboards.
Upgrade Pantry door to a cavity sliding unit.**

1	Remove Linen Cupboard Shelves and Door LM	-\$547.25	ea	-\$547.25
1	Provide Floor and overhead Cupboards with Tops Per Lm to Pantry	\$2,193.13	ea	\$2,193.13
1	Provide A Cavity Sliding Door In Lieu Of Swing Door to Pantry. (Includes Locks)	\$171.88	ea	\$171.88

AMENDMENT 13

2	Supply Velux Fixed Skylight M08 Comfort Double Glazing M08 to Kitchen	\$2,846.25		\$5,692.50
---	---	------------	--	------------

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 07 4152 6969. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Qty	Description	Unit Price (Inc. GST)	Unit	Price (Inc. GST)
ea				
AMENDMENT 14				
1	Provide Upgrade Standard Bath to Free Standing Bath 1560mm Bath and Hob change Only, Tap Ware as is	\$812.63	ea	\$812.63
AMENDMENT 15				
1	Provide Wet Area Floor Extension includes Water proofing and Standard Tiles Per m2 to Laundry	\$1,347.50	ea	\$1,347.50
1	Provide A Cavity Sliding Door In Lieu Of Swing Door to Laundry. (Includes Locks)	\$171.88	ea	\$171.88
0.5	Provide Built-In Linen Cupboard Including 4 Rows Of Shelving & Swing Door to Laundry	\$584.39	ea	\$292.19
0.4	Provide Floor Cupboards Without Tops Per LM to Laundry	\$907.50	ea	\$363.00
0.7	Provide 20mm Stone Benchtops Per M2 to Laundry to extend over Front Load Washing Machine	\$907.50	ea	\$635.25
AMENDMENT 16				
1	Delete 1218 Sliding Window to Bedroom 2 and provide 1812 Double Hung Window in place.	\$375.38	ea	\$375.38
3	Supply & Fit Diamond Grill Saftey Screen To Bedroom 2/3/4 Windows	\$237.60	ea	\$712.80
AMENDMENT 17				
13.2	Provide internal extension of Garage	\$653.13	ea	\$8,621.25
1	Provide 21-18 Sliding Glass Door In Lieu Of External Wall (Excludes Screens)	\$74.81	ea	\$74.81
1	Supply & Fit Diamond Grill Saftey Screen Sliding Door	\$387.75	ea	\$387.75
AMENDMENT 18				
1	Upgrade Garage panel lift door to 5400mm wide.	\$1,100.00	ea	\$1,100.00
AMENDMENT 19				
4.7	Provide Built-In Linen Cupboard Including 4 Rows Of Shelving & Vinyl Doors to Garage	\$584.38	ea	\$2,746.57
AMENDMENT 20				
1	Provide gas connection to Alfresco for future BBQ.	\$363.00	ea	\$363.00
AMENDMENT 21				
59	Provide Off White Mortar In Lieu Of Natural (Single Height) Per LM	\$7.02	ea	\$414.06
AMENDMENT 22				
2.6	Upgrade Plasta Board wall to Hardi- Groove Feature wall to Bedroom 1 per LM Like Display Home	\$298.38	ea	\$775.78
AMENDMENT 23				
1	Delete Dishlex Dishwasher DSF6106X (Dishwasher Space to Remain)	-\$481.25	ea	-\$481.25
1	Remove Westinghouse 900mm Canopy Ranghood (WRF900CS)	-\$330.00	ea	-\$330.00
1	Remove Westinghouse 900mm Free Standing Stove WFE914SA (Gas Cooktop Elec Oven)	-\$1,485.00	ea	-\$1,485.00
1	Install Client Supplied 900mm Freestanding Cooker, 770mm Integrated Ranghood & 600mm Freestanding Dishwasher at No Cost.	\$0.00	ea	\$0.00
AMENDMENT 24				
1	Provide ISC 46 Horsepower Waste Disposal unit fully installed to Kitchen sink.	\$647.48	ea	\$647.48
AMENDMENT 25				
1	Delete Display Niche to Entry at Nil Cost.	\$0.00	ea	\$0.00
AMENDMENT 26				
1	Provide raked ceiling to Kitchen/Family/Dining as per Display home.	\$726.00	ea	\$726.00

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 07 4152 6969. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Qty	Description	Unit Price (Inc. GST)	Unit	Price (Inc. GST)
AMENDMENT 27				
1.7	Provide Built-In Linen Cupboard Including 4 Rows Of Shelving & Vinyl Doors to Study.	\$584.38	ea	\$993.44
AMENDMENT 28				
3.2	Delete Sliding Glass Window to Study and Provide External Wall (Excludes Screens)	\$22.04	ea	\$70.54
1	Delete Flyscreen To Study Window	-\$49.50	ea	-\$49.50
1	Provide 21-18 Sliding Glass Door In Lieu Of External Wall to Study (Excludes Screens)	\$74.81	ea	\$74.81
1	Supply & Fit Diamond Grill Safety Screen Sliding Door to Study	\$387.75	ea	\$387.75
AMENDMENT 29				
-2	Delete 2x Standard Towel Rails to Ensuite & Bathroom	\$90.20	ea	-\$180.40
2	Install 2x Client Supplied Plug-in Heated Towel Rails to Ensuite & Bathroom at Nil Cost (additional Powerpoints added below).	\$0.00	ea	\$0.00
AMENDMENT 30				
1	Provide 14Kw Mitsubishi Heavy Industries Ducted Air Con up to 6- 8 Zone Depending on Floor Design	\$14,547.50	ea	\$14,547.50
AMENDMENT 31				
3	Delete Diamond Grill Safety Screen Sliding Door to Alfresco	-\$310.20	ea	-\$930.60
3	Provide Stainless View Security Screens to Sliding Door to Alfresco	\$893.75	ea	\$2,681.25
AMENDMENT 32				
20.8	Supply and Install Standard Range Exposed Aggregate Concrete (include mesh and Labour) to Driveway, Clothesline & Gas Bottle Pads.	\$103.13	ea	\$2,145.00
AMENDMENT 33				
1	Provide 300mm extension to Bathroom Vanity with Stone Benchtop, Polytec back & end panels (open underneath) & tiled splashback.	\$280.01	ea	\$280.01
1	Extend Mirror to Main Bathroom to meet external wall	\$316.80	ea	\$316.80
AMENDMENT 34				
1	Delete Wall Mounted Folddown Clothesline	-\$192.50	ea	-\$192.50
AMENDMENT 35				
2	Provide Builders Standard Range Pendant to Master Bedroom (Each)	\$254.38	ea	\$508.75
AMENDMENT 36				
1	Provide Bar Fridge & Microwave Tower to WIP In Lieu Of Open Shelves	\$577.50	ea	\$577.50
0.5	Install client supplied Pull-out Bin Drawer to previous Microwave position on Kitchen Island with Polytec Melamine Drawer Front.	\$206.25	ea	\$103.13
AMENDMENT 37				
2	Delete 2x Standard Exhaust Fans to Ensuite & Bathroom	-\$33.00	ea	-\$66.00
2	Provide Installation of 2x Client Supplier IXL Heat/Light/Fan Model 11461 to Ensuite & Bathroom in lieu of Standard Exhaust Fan	\$37.35	ea	\$74.69
AMENDMENT 38				
2	Provide Light Sensor Unit	\$211.75	ea	\$423.50
1	Provide Double 1200mm Strip Fluro	\$206.25	ea	\$206.25
7	Provide 10W SAL Wave Tri-Colour Downlight	\$104.50	ea	\$731.50
13	Provide Double Power Point	\$79.75	ea	\$1,036.75
6	Provide Single Power Point	\$68.75	ea	\$412.50
1	Provide 10mm Sub-Mains and Sub-Board to Shed (By Owner) as per Site Plan	\$618.75	ea	\$618.75
1	Provide additional Double Weather Proof Point to Alfresco	\$140.25	ea	\$140.25
1	Provide additional TV Point to Alfresco (Includes Splitter-Not Amplified)	\$89.38	ea	\$89.38

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 07 4152 6969. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Qty	Description	Unit Price (Inc. GST)	Unit	Price (Inc. GST)
3	Provide Data Point	\$110.00	ea	\$330.00
AMENDMENT 39				
8.2	Supply & Lay Wall Tiles to ceiling on selected walls in Ensuite & Bathroom as per plans	\$85.25	ea	\$699.05
AMENDMENT 40				
2	Provide a set of two pot drawers in lieu of underbench cupboards to Kitchen (up to 900mm wide) either side of Cooker.	\$206.25	ea	\$412.50
AMENDMENT 41				
1	Provide A Third Yard tap attached to the house	\$202.13	ea	\$202.13
AMENDMENT 42				
1.7	Provide extension to Alfresco Mono Style Slab with Tiles	\$660.00	ea	\$1,122.00
AMENDMENT 43				
1	Connect 2x Front Shed Downpipes (BY Owner) to Stormwater Pipes	\$412.50	ea	\$412.50
AMENDMENT 44				
3	Provide Double Hanging Per Lm to WIR	\$34.38	ea	\$103.13
AMENDMENT 45				

1	Upgrade From Framed To Semi-Frameless Showerscreen (1000mm x 1000mm) to Main Bathroom.	\$151.58	ea	\$151.58
---	--	----------	----	----------

BRAND REWARDS

Valid if Preliminary Agreement is Signed & Paid within 7 Days of Quote Presentation.

1	Provide 2x Pendant Lights at No Cost	\$0.00	ea	\$0.00
1	Provide 4x Smart Tile Floor Wastes to Ensuite & Bathroom at No Cost	\$0.00	ea	\$0.00
1	Install 7x Client Supplied Ceiling Fans at No Cost	\$0.00	ea	\$0.00
1	Provide 3x Open Shelving to Bedroom 2/3/4 Robes at No Cost	\$0.00	ea	\$0.00
1	Provide Tiling to original Alfresco area at No Cost	\$0.00	ea	\$0.00

Let us know what you think of our service at enquiries@stroudhomes.com.au

Visit us on www.stroudhomes.com.au

See us on facebook at www.facebook.com/StroudHomes

Total (Inc. GST): \$327,894.16

Please contact me if I can be of further assistance.

Signature

Date

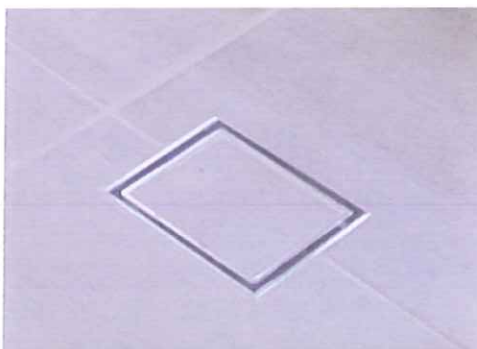
14/2/19

If you have any queries about this quote please contact your salesperson or just call our friendly staff on 07 4152 6969. This quote is subject to the final approval of the Manager and Director. This quote is valid for a limited time period (maximum 28 days) and pricing will be subject to change after expiry of this time period.

Brand Rewards



2 x Light Pendants on Display



2 x Square Tiled Smart Wastes



Ceiling Fans to All Bedrooms



Robe Upgrades to All Bedrooms



Tiling to Alfresco Areas

HURRY!- OUR SUPPLIERS HAVE LIMITED THESE REWARDS TO 10 HOMES ONLY!

COURTNEY STALLARD

New Home Sales

0408 677 633 | courtney.stallard@stroudhomes.com.au

©1800 STROUD
www.stroudhomes.com.au

Available with the Wildflower, Avoca, Kentucky and Beechmont designs only. Preliminary agreement must be signed within 7 days of quotation. Not available in conjunction with any other offer. All supplied and installed. * Terms & Conditions Apply.