

CPCCBC4012B

READ AND INTERPRET PLANS AND SPECIFICATIONS

ASSESSMENT SUMMARY

The assessment activities for *CPCCBC4012B Read and interpret plans and specifications* cover all aspects of the unit of competency required. To demonstrate competence in this unit, a participant must undertake all tasks and complete them satisfactorily and consistently. For Apprentices and Trainees, this includes employer completion of the Employer Record Book (ERB).

Participants must read all the information given before starting any assessment task. The assessment tasks are intended to be equitable, fair and flexible. If a participant has any questions or requires alternative arrangements to be made such requests should be directed to their Trainer/Assessor, who should note such arrangements in the 'Assessor Comments' on the affected assessment. If a participant feels they are not yet ready to be assessed, they should discuss their options with their Trainer/Assessor.

To satisfactorily complete the assessment, the participant is required to answer all questions correctly and demonstrate their skills to industry standards. If a participant does not answer some questions or perform some tasks, they will be deemed 'Not Satisfactory' for the task and 'Not Yet Competent' for the unit of competency. The Trainer/Assessor is able to provide the participant with additional information on interpreting the assessment outcomes and provide guidance on the participant's options. Should a participant still be deemed 'Not Satisfactory' they will have the opportunity to undertake a supplementary assessment or appeal the result.

By signing the cover page for each assessment item, the participant acknowledges they understand the assessment instructions and requirements and consent to being assessed. The participant also verifies and assures the RTO that the work submitted is their own work.

Participant Name	
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Task	Assessment Results	
Theory Exam	☐ Satisfactory	☐ Not Yet Satisfactory
Practical Assessment	☐ Satisfactory	☐ Not Yet Satisfactory
Outcome for Unit of Competency	☐ Competent	☐ Not Yet Competent

Assessor Name	
Assessor Signature	
Unit Competence Determination Date	Click here to enter a date.

CPCBC4012B

READ AND INTERPRET PLANS AND SPECIFICATIONS

THEORY EXAM INSTRUCTIONS

- This exam will occur under standard assessment conditions.
 - An oral examination may be allowed under certain circumstances, whereby the Participant's answers will be documented by a party other than the Participant. This must be acknowledged in writing (e.g. FT001 and Assessor Comments)
- Participants must provide enough detail in their responses to demonstrate their knowledge and skills.
- Please fill in the details below, providing your name, signature and date of assessment.
 - Your signature acknowledges that this is your own work.
- Assessors are to complete marking in pen of a different colour to the Participant.
- If a Participant initially answers a question incorrectly but modifies their response, they must follow the instructions below:
 - If a Participant changes their response in writing, they must put their initials next to the written change.
 - If a Participant changes their response verbally, this must be noted on the exam paper by the assessor.

Participant name

Aaron Birt

Participant signature



Date

Click here to enter a date.

11/5/20

Assessor name

Assessor signature

Date

Click here to enter a date.

Number of questions	Number of questions answered correctly	Task outcome (Tick)	
		Satisfactory	Not Yet Satisfactory
87		☐	☐

ASSESSOR COMMENTS

Q1. Plans and specifications are used to inform which of the following processes? Tick all that apply.

Answer

Choice	Possible Answers
☒	Building contracts
☒	Development applications
☒	Estimation
☒	Planning
☒	Supervisory tasks
☒	Tenders



Q2. Which compass direction is always shown on plans and drawings?

Answer North



Q3. What information is provided on a location plan?

Answer Shows site on a street



Q4. What detail does a site or block plan contain?

Answer A datum point – referencing height to other site levels
Building location and orientation to north point



Q5. What do floor plans identify?

Answer

Floor plans show details of the proposed structure like rooms, positions of fixtures and floor coverings



Q6. What is a landscape plan and what information might it provide?

Answer

Details of plants, paths, garden layouts and retaining walls



Q7. What are elevation views? What do they provide to the plan reader?

Answer

The provide from all sides, north, west, east and south



Q8. What is a section?

Answer

A section is a view of the house after it has been cut vertically , it can show size and thickness of structural members and between spaces



Q9. What are detailed drawings?

Answer

Detailed drawings show a particular method of construction or finish



Q10. What are specifications?

Answer

Specifications set out the minimum standard or codes required for all structural components and provide details of building materials and fittings like windows, frame material and type of glass
Doors, size material and swing on the door



Q11. Explain the meaning of the abbreviations in the table below.

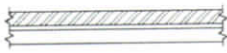
Answer

Abbreviation	Meaning
ACRYL	Acrylic
AS	Australian Standard
ASSD	Assorted Assumed Datum
B	Basic
BN	Basin Bull Nose
BTH	Bath
BWK	Brickworks
CB	Cupboard concrete Block.
CF	Concrete Floor
CG	Clear Glass
CJ	Ceiling joist
CORR	Corrugated
CWT	Cold Water Tank
DG	Double Glazing
DH	Double Hung Window
DPC	Damp-proof course
DSB	Dist Switch Board
DW	Dishwasher
EJ	Expansion Joint
FPBD	Fibrous Plaster Board
FFL	Finished Floor Level
FHR	Fire Hose Reel
GPO	General Purpose Outlet
HBD	Hardboard
HTR	Heater
HWD	Hardwood



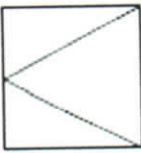
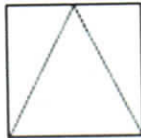
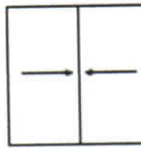
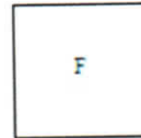
Q12. Name each of the drawing symbol images shown in the table below.

Answer

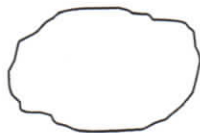
Name	Image
Wall Cavity Brick	
Wall Brick Veneer	
Wall Timber Stud	
Window in cavity wall	
Window in single wall	
Door swing single	
Door swing double	
Door sliding into pocket	
Door sliding exposed on wall	
Socket outlet power general	



Q13. Identify what the following window symbols represent on elevations.

Answer	Item	Drawing	☒
	Window hinged at side		
	Window hinged at top		
	Sliding horizontally		
	fixed		

Q14. What does a clouded area on a plan indicate?

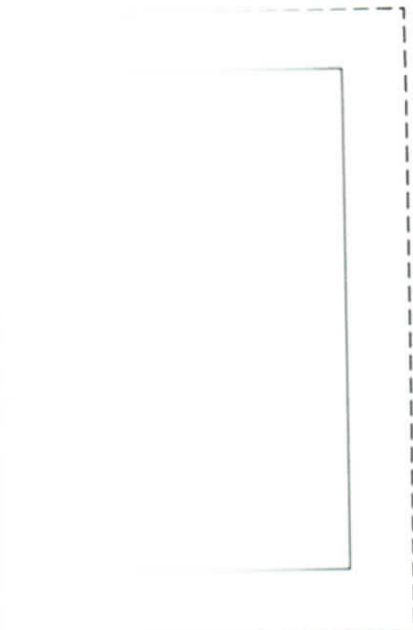


Answer	Revisions or amended are marked by a clouded area	☒
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**Q15. An amendment to specifications could relate to which of the following?
Tick all that apply.**

Answer	Choice	Possible Answers	☒
	☐	Contact details of all construction crew members	
	☒	Materials or products used	
	☒	Methods of carrying out specified work	

Refer to the title block below to respond to Q16. to Q18.

	Site address LOT 437, SOUTH ST. MARYVILLE WA	
	Client JM & KL JOHNSON	
	Project # 2012/15	Project name JOHNSON RESIDENCE
	Builder: HOTSHOT HOMES	
	Drawn by MW	Date: July 2011
	AMENDMENTS 5/10/2011 Window added to study 8/11/2011 Bed 3 robe deleted	
Title: FLOOR PLAN	Scale: 1:100	
Drawing # 3 OF 7		

Source: http://www.dtwd.wa.gov.au/sites/default/files/teachingproducts/BC1934_CCBY.PDF

Q16. On what date was an amendment made to the window details?

Answer 05/10/2011



Q17. True or False (Tick your response): Details of the window in Q16. should also be reflected in the specifications and confirmed with the client.

Answer

☒	True
☐	False

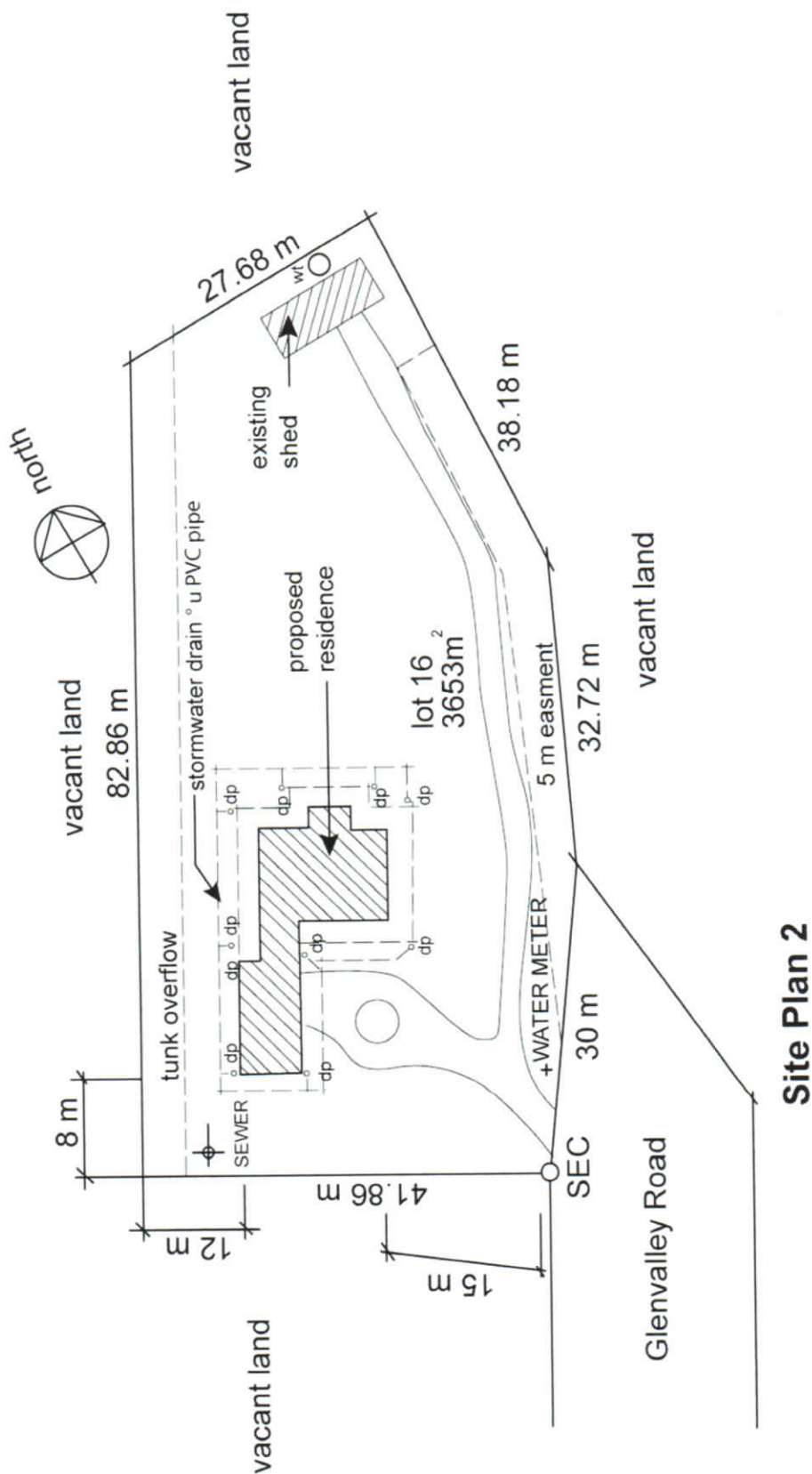


Q18. What amendment occurred on 08/11/2011?

Answer Bedroom 3 robe deleted



Refer to the site plan below to respond to Q19. to Q26.



Site Plan 2

Clients : H&M Smith Lot 16 Glennvalley Road Richmond	North	drawn : DJA date : 11/10/07 scale : 1 : 500 drg no : WD 9733 sheet 6 of 7	REVISIONS		Joe Foreman Ph: 03 9514 2311 Mob: 0413 113 113 18 Fairview Road, Richmond 3216
			NO	DATE	BY

Q19. What structure is being built on this site? Tick your response.

Choice	Possible Answers
☒	Residence
☐	Road
☐	Shed
☐	Water meter

Q20. What is the Lot number of this site?

Answer 16

Q21. What is the size of this lot?

Answer 3653m2

Q22. Is the shed at the north-east of the proposed structure to be removed or retained? Tick your response.

Choice	Possible Answers
☐	Removed
☒	Retained

Q23. True or False (Tick your response): The sewer is at the eastern boundary of the property.

Answer

☐	True
☒	False

Q24. True or False (Tick your response): The driveway is located to the south of the proposed property.

Answer

☒	True
☐	False

Q25. What size is the easement on the eastern boundary of the site?

Answer 5 Metre



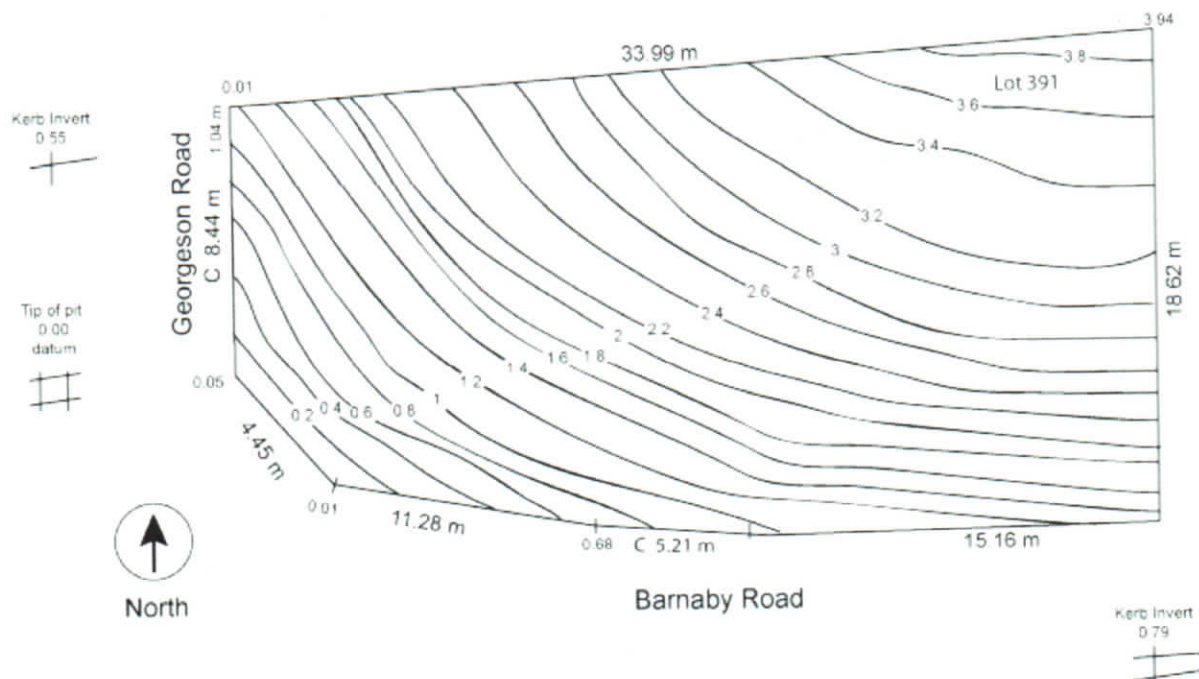
Q26. True or False (Tick your response): The stormwater drain is constructed from PVC pipe.

Answer

☒	True
☐	False



Refer to the contour plan below to respond to Q27. to Q28.



Q27. What is the level at the northernmost point of the site?

Answer 3.94



Q28. Which end of the site has the lowest level? Tick your response.

Answer

Choice	Possible Answers
☐	East
☒	West





Q29. Give a brief description about the building from the detail available in the sectional drawing. Is it the same structure proposed in Q19. to Q26. ?

Answer 2 storey building verandah on 2 opposing sides 30 deg pitch on roof and yes it is the same as on the proposed previous drawing ☒

Q30. Who is the client?

Answer H & M Smith ☒

Q31. Where is this project to be built?

Answer Lot 16, Glenvalley Road
Richmond ☒

Q32. What are the contact details for the draftsman?

Answer Jon Foreman
18 Fairview Road
Richmond 3216
Ph 03 9514 2311
Mob 0413 113 113 ☒

Q33. What sheet number is this drawing?

Answer Sheet 5 ☒

Q34. What timber is required for loading and non-load bearing walls?

Answer F5 studs 90x35 @600 centres ☒

Q35. What spacing is recommended for common studs?

Answer 600 max spacing



Q36. What type of roof truss is to be installed?

Answer Scissor trusses



Q37. What centres are the trusses positioned at?

Answer 900 centres



Q38. What size are the veranda posts?

Answer 90 x 90



Q39. What timber species are the veranda posts to come from?

Answer DAR Oregon



Q40. What pitch is the roof?

Answer 30 deg



Q41. What size are the noggings and at what spacing?

Answer 35 x 70 at 1350 max spacing



Q42. What size are the ceiling joists?

Answer HJ 240 joists



Q43. What timber is used for roof battens and what spacing?

Answer FG Pine and spacing 900



Q44. What thickness is the plasterboard sheeting?

Answer 10mm



Q45. What type of flooring is to be installed?

Answer Plywood



Q46. What is the roof cladding material?

Answer Colourbond corrugated metal roofing



Q47. Where will you find information about the footings?

Answer Engineers Drawing



Q48. What do the letters 'DAR' refer when timber ordering?

Answer Dressed all Round

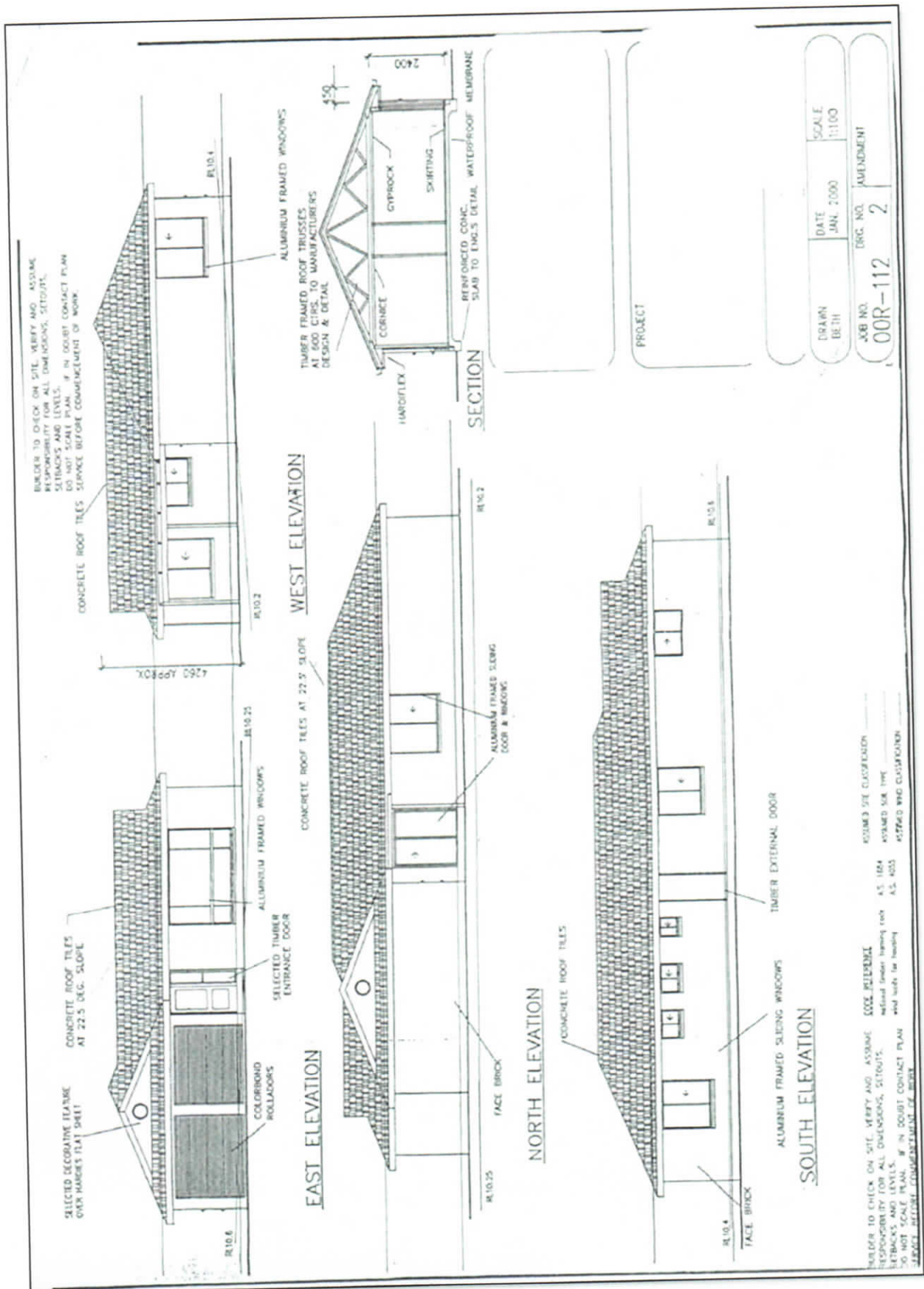


Q49. Explain what '240 x 63 LVL' refers to on the sectional drawing. What do the letters 'LVL' refer to?

Answer Dimensions of Laminated Veneer Lumber starting joists 240x63



Refer to the drawing below to respond to Q50. to Q65.



Q50. What is the number of the drawing?

Answer

2



Q51. What is the Job Number?

Answer

OOR-112



Q52. What is the scale of the drawing?

Answer

1:100



Q53. What does the drawing show?

Answer

Elevation for North, East, South and West
And cross section



Q54. Which view shows the front of the house?

Answer

East



Q55. How many motor vehicles can be parked in the garage?

Answer

2



Q56. What are the window and doors made from?

Answer

Aluminium frame windows , timber doors, and one aluminium sliding door



Q57. What is the size of the eaves?

Answer

450



Q58. What are the eaves lined with?

Answer

hardiflex



Q59. What type of roof structure is the roof built from?

Answer

Timber framed roof trusses



Q60. Which Part of the NCC should be read for more detail about the requirements for the roof structure in Q59. ?

Answer

Volume 2 Part 3.4 Framing



Q61. Which Australian Standard should be read for more detail about the roof structure in Q59. ?

Answer

AS1562.1 design and installation of sheet roof and wall cladding



Q62. What is the roof cladding materials made from?

Answer

Concrete roof tiles



Q63. Which Part of the NCC should be read for more detail about the roof cladding materials in Q62. ?

Answer

NCC Volume 1 – B1.2 2 roof cladding



Q64. Which Australian Standard should be read for more detail about the roof cladding materials in Q62. ?

Answer

AS1562.1 design and installation of sheet roof and wall cladding



Q65. What is the roof pitch?

Answer

22.5



Q66. Identify one (1) regulatory body you may need to submit plans to for approval?

Answer

Local Council



Q67. Briefly describe the approval process and timeframes for an approval through the regulatory body in Q66.

Answer

Timeframes , costs and processes differ between local council government authorities
Development application
Construction certificate
Appt of principal authority
Notice to council of proposed commencement
Inspection
Final certificate



Q68. What is a prime cost (PC) item? Give an example.

Answer

Prime cost is money included in contract to purchase specified items,

Tiles,
Taps



Q69. What is a provisional sum (PS) item? Give an example.

Answer

An amount included in contract to cover work/materials not detailed in the original work

Hidden trees
Rocks



Refer to the Bill of Quantities below to respond to Q70. to Q76.



Organized Builders Estimating Solutions
Bill Summary

Page 1 of 2

7 October 2011

Web2Stem Website Template 2 storey
Organized Builders
P.O. Box 5280 Frankston South 3199
0413 770 956

Cost Centre	Amount	
01 PRELIMINARIES	\$21,239.00	5.9%
01A Preliminary Stage	\$0.00	.0%
02 SITE PREP & DEMOLITION	\$6,010.00	1.7%
03 HIRE ITEMS	\$8,909.70	2.5%
04 SET OUT	\$1,350.00	.4%
05 POWER PROVISION	\$2,670.00	.7%
06 WATER CONNECTION	\$1,550.00	.4%
07 SEWERAGE & STORMWATER	\$9,400.00	2.6%
01 - Prelims	\$51,128.70	14%
08A Base Stage	\$0.00	.0%
08 PUMP & CRANE HIRE	\$2,070.00	.6%
09 TERMITE CONTROL	\$700.00	.2%
13 FOUNDATION PACKAGE	\$19,079.00	5.3%
17 STRUCTURAL STEEL	\$12,000.00	3.3%
02 - Base	\$33,849.00	9%
20A Frame Stage	\$0.00	.0%
20 FRAME TIMBER	\$5,127.16	1.4%
22 FLOOR TRUSSES	\$2,249.60	.6%
23 ROOF TRUSSES	\$3,360.00	.9%
24 WINDOWS ALUMINIUM	\$25,541.00	7.1%
29 FRAME CARPENTER	\$7,336.00	2.0%
03 - Frame	\$43,613.76	12%
30A Lockup Stage	\$0.00	.0%
31 METAL ROOF	\$16,538.90	4.6%
32 RENDERING	\$9,096.00	2.5%
34 BRICK SUPPLY	\$3,276.00	.9%
35 BRICK SAND	\$600.00	.2%
36 STEEL LINTELS	\$828.52	.2%
38 BRICKLAYER	\$8,460.00	2.4%
39 ELECTRICIAN	\$152.01	.0%
40 INTERCOM & SECURITY	\$1,200.00	.3%
41 PLUMBER	\$6,775.00	1.9%
42 DUCTED HEATING & COOLING	\$18,900.00	5.3%
43 INTERNAL LOCKUP MATERIALS	\$921.85	.3%
45 INTERNAL LOCKUP CARPENTER	\$2,400.00	.7%
46 WALL INSULATION	\$3,285.50	.9%
47 EXTERNAL LOCKUP MATERIALS	\$1,938.70	.5%
48 EXTERNAL LOCKUP CARPENTER	\$11,770.00	3.3%
04 - Lockup	\$86,142.48	24%
50A Fixing Stage	\$0.00	.0%

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Organized Builders Estimating Solutions
Bill Summary

7 October 2011

Web2Stem Website Template 2 storey
 Organized Builders
 P.O. Box 5280 Frankston South 3199
 0413 770 956

<u>Cost Centre</u>		<u>Amount</u>	
50	PLASTERER	\$12,900.00	3.6%
51	STAIRCASE & BALUSTRADE	\$7,000.00	1.9%
52	CABINET MAKER	\$22,000.00	6.1%
53	SINKS & BASINS	\$2,086.03	.6%
54	FIX MATERIALS	\$2,010.69	.6%
55	FIX CARPENTER	\$3,631.60	1.0%
56	INTERNAL TILE SUPPLY	\$6,100.00	1.7%
57	INTERNAL TILER	\$7,398.80	2.1%
58	PAINTER	\$16,075.90	4.5%
59	SHOWER SCREENS & MIRRORS	\$1,448.00	.4%
61	TOILET SUITES	\$1,500.00	.4%
05 - Fixing		\$82,151.02	23%
61A	Completion Stage	\$0.00	.0%
62	KITCHEN APPLIANCES	\$2,700.00	.8%
63	HOT WATER SUPPLY	\$2,408.80	.7%
64	TAPWARE SUPPLY	\$2,745.00	.8%
67	GARAGE DOOR SUPPLY	\$1,437.84	.4%
68	HOUSE CLEANER	\$1,088.00	.3%
71	CARPET, VYNIL & FLOATING FLOORS	\$3,350.00	.9%
72	CLOTHES LINE & MAILBOX	\$700.00	.2%
73	WINDOW FURNISHINGS	\$5,000.00	1.4%
74	FENCING	\$4,665.50	1.3%
76	LANDSCAPING	\$12,000.00	3.3%
78	OFFICE FEES & COSTS	\$26,000.00	7.2%
06 - Completion		\$62,095.14	17%
Total		\$358,980.10	
Contingency Sum 1.0%		\$3,589.80	
Profit & Overheads 18.0%		\$65,262.58	
GST 10.0%		\$42,783.25	
Total		\$470,615.73	

Prices do NOT include GST

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Source: <http://organizedbuilders.com.au/sites/default/files/BOQ-Summary.pdf>

Q70. True or False (Tick your response): This Bill of Quantities represents a job for a two-storey house.

Answer

☒	True
☐	False



Q71. Identify two (2) materials being used for the floors?

Answer Carpet and Vinyl



Q72. True or False (Tick your response): A landscaper has been contracted for this job.

Answer

☒	True
☐	False



Q73. How much does the contracted plasterer cost?

Answer \$12,900



Q74. How much do the kitchen appliances cost?

Answer \$2,700.00



Q75. What percentage of the total cost does the fixing stage represent of the building contract?

Answer 23.1



Q76. What percentage of the total cost does the completion stage represent of the building contract?

Answer 17%



Refer to the Purchase Order below to respond to Q77. to Q82.



Organized Builders Estimating Solutions

A.B.N. 3608592003

info@organizedbuilders.com.au

P.O. Box 5280 Frankston South 3199 0413 770 956

Page 1 of 2

7 October 2011

Purchase Order No Web2Stem/20

Delivery Date

Order Date 7/10/2011:

TO

TO BE ALLOCATED TO

JOB

Organized Builders
P.O. Box 5280 Frankston South 3199
0413 770 956

Supervisor Builder
Job Type Two Storey

Please Supply: **FRAME TIMBER**

Reference	Description	Quantity	Units	@	Amount
	Frame timber	1		\$0.00 *	\$0.00
	Ground floor walls and beams to ceiling / floor				
	Pine 90 x 35 mgp10 (long lengths)	130	m	\$1.00 *	\$130.00
	Pine 90 x 45 mgp10 (Long Lengths)	120	m	\$1.00 *	\$120.00
	Pine F5 90 x 45 studs 2.4 m long Studs Cut to mm	100	each	\$1.00 *	\$100.00
	Pine F5 90 x 45 studs 2.7 m long Studs Cut to mm	45	each	\$1.00 *	\$45.00
	Pine 90 x 45 mgp10 (Long Lengths) studs over 2.7 80/3.0 25/3.3	322.5	m	\$1.00 *	\$322.50
	90 x 45 KDHW F17 15/5.4 1/2.7 2/9 9/3.0 22/2.4 8/3.0	189.3	m	\$1.00 *	\$189.30
	140 X 45 KDHW F17 13/3.6 7/2.4 4/1.8	70.8	m	\$1.00 *	\$70.80
	240 X 45 KDHW F17 alternate option / better to use E14 beams in lieu of F17 7/3.6 2/3.3 1/2.1 1/1.5 1/1.2 1/3.9	40.5	m	\$1.00 *	\$40.50
	240 X 45 KDHW F17 Must be H2 treated 2/3.6 4/3.9	22.8	m	\$1.00 *	\$22.80
	290 x 45 F17 KDHW 6/3.9 2/3.3 4/4.2 6/3.6 1/1.2 1/1.8	71.4	m	\$1.00 *	\$71.40
	Sheet brace 2400 x 1200 4mm Ply	3	sheet	\$1.00 *	\$3.00
	Sheet brace 2700 x 1200 4mm Ply	6	sheet	\$1.00 *	\$6.00
	Sheet brace 3000 x 1200 4mm Ply	4	sheet	\$1.00 *	\$4.00

This Order is subject to our Standard Notes and Conditions. Authorised by:

Organized Builders

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Source: <http://organizedbuilders.com.au/sites/default/files/Databuild-Bill-of-Quantities.pdf>

Q77. How many Pine F5 90 x 45 studs (2.4m long) are required?

Answer ☒

Q78. If the material in Q77. increased in cost to \$2.75 each, what would be the total cost for this material?

Answer ☒

Q79. How many sheet of ply are required in total (i.e. all sizes)?

Answer ☒

Q80. What material has the highest total cost?

Answer ☒

Q81. How many metres are required of the material in Q80. ?

Answer ☒

Q82. What beam is identified as being a better option than F17?

Answer ☒

Refer to the labour chart below to respond to Q83. to Q86.

LABOUR		Registered (for des- tra)
BUILDING WORKS		Skilled Worker
Per hour		A \$
17001	Asphalter (Road Construction).....	107.40
17002	Bamboo Scaffolder.....	187.20
17003	Bar Bender and Fixer.....	214.30
17004	Bricklayer.....	136.70
17005	Builder's Lift Operator.....	-
17006	Carpenter (Formwork - Building Construction).....	201.10
17007	Concrete Repairer (Spalling Concrete).....	185.60
17008	Concretor.....	194.50
17009	Construction Plant Mechanic.....	150.60
17010	Demolition Worker.....	165.60
17011	Drainlayer.....	166.00
17012	Floor Layer.....	139.20
17013	General Welder.....	152.00
17014	Glazier.....	154.80
17015	Joiner.....	139.20
17016	Leveller.....	150.20
17017	Marble Worker.....	179.80
17018	Mason.....	146.10
17019	Metal Scaffolder.....	131.00
17020	Metal Worker.....	154.70
17021	Painter and Decorator.....	127.40
17022	Painter (Texture-Spray).....	-
17023	Pipelaye.....	166.00
17024	Plant and Equipment Operator (other than cranes).....	129.60
17025	Plant and Equipment Operator (cranes generally).....	168.50
17026	Plasterer.....	154.70
17027	Plumber.....	140.20

Source: https://www.archsd.gov.hk/media/89170/sor2013_vol1_builders_works_2013_11_04.pdf

Q83. Based on the hourly rates given, which is the least expensive trade to contract?

Answer Asphalt road construction



Q84. If the trade in Q83. were to be contracted for two (2) hours' work, how much would this cost?

Answer \$214.80



Q85. Based on the hourly rates given, which is the most expensive trade to contract?

Answer ~~Carpenter~~

Bar Bender Fixer



Q86. If the trade in Q85. were to be contracted for six (6) hours' work, how much would this cost?

Answer \$1005.50

~~1167.50~~
1255.50



Q87. Name the building legislation (Act and Regulations) that apply within your jurisdiction and should be referenced when reading plans and building contracts.

Answer Building Act 1975 (QLD)
Building Regulation 2006 (QLD)



CPCCBBC4012B READ AND INTERPRET PLANS AND SPECIFICATIONS

PRACTICAL ASSESSMENT INSTRUCTIONS

- The following practical assessment will require the Participant to complete work related activities.
- The Assessor will conduct observations of the Participant's work to determine whether they display sufficient practical skills and knowledge.
- Please fill in the details below – providing your name, signature and date of assessment.
 - The Participant's signature acknowledges that the Assessor provided clear instructions and the Participant understood what was required to complete this assessment.
- The Assessor may substitute a Practical Task with an alternate task of equal value.
 - Alternate tasks must be fully documented by the assessor in the Assessor Comments area.

Participant name _____

Participant signature _____

Date [Click here to enter a date.](#) _____

Assessor name _____

Assessor signature _____

Date [Click here to enter a date.](#) _____

Task	Task outcome (Tick)	
	Satisfactory	Not Yet Satisfactory
Task 1 (Occasion 1)	☐	☐
Task 1 (Occasion 2)	☐	☐

ASSESSOR COMMENTS

CPCCBC4012B READ AND INTERPRET PLANS AND SPECIFICATIONS

Practical Task 1 (2X)

Description of task: On two (2) occasions, a suitable observer is to verify the participant's ability to read and interpret plans and specifications in order to inform estimation, planning and supervisory activities. The participant is to gather evidence of how they have completed each component of the Practical Task, which is to be submitted with this Practical Assessment sheet. Evidence to be submitted may include: - Any drawing with a cloud or mark-up you have inserted. - Copy of the correspondence regarding mark up and any site management/authorising engineer response. The observer is to provide detailed comments on the tasks completed by the participant. The assessor is to verify the observer's comments in the Assessor Comments section, and provide the Practical Assessment outcome on the front cover of this document.		
Resources required: Drawings (including site plan), Specifications, Tender documentation, Telephone, Facsimile machine, Computer.		
Assessment of task		
Name of participant: Aaron Birt	Name of observer: Karen McNamara	Role of observer (Confirm suitability to sign) Contracts Administration
Email address of observer: yabrisbane@outlook.com		Signature of observer: 
Date: Click here to enter a date.		When completing the task, did the participant:
Tick if satisfactorily completed. Provide comments if left unticked.	1st Occasion	2nd Occasion
1 Interpret drawings		
1.1A. Identify purpose and advantage of different types of drawings.	☒	☒
1.1B. Identify different aspects of drawings.	☒	☒
1.1C. Identify, understand and apply: - Commonly used symbols and abbreviations - Common building and construction terms on drawings	☐	☒
1.1D. Identify building site from location drawings.	☒	☒
1.1E. Identify on the site plan: - True north - Building orientation - Key features in relation to building and other structures - Levels - Contours - Service entry points - Site features to be removed or retained	☒	☒

1.1F.	Identify key features of plans, elevations and sections.	☒	☒
1.1G.	Identify client requested variations to standard plans on drawings.	☒	☒
2 Interpret specifications			
1.2A.	Identify and correctly apply Provisional Sum (PS) and Prime Cost (PC) values.	☒	☒
1.2B.	Identify and confirm customer variations to standard specifications and communicate changes to organisational personnel.	☒	☒
1.2C.	Apply and communicate correct interpretations of essential elements to estimation, planning and supervisory tasks (including labour hours/costs and material quantities/costs).	☒	☒
1.2D.	Identify Building Codes or standards affecting the work to be undertaken (including references to Australian Standards and the National Construction Code).	☒	☒
1.2E.	Identify key features of products included in the specification, including the design, purpose, aesthetics and cost relationships.	☒	☒
3 Communicate with others			
1.3A.	Consult with industry professionals, clients, organisational personnel and appropriate local authorities.	☒	☒
1.3B.	Effectively communicate using the following methods: • Verbally using language/concepts appropriate to cultural differences • Non-verbal communication • Using technology (including telephone, facsimile, email)	☒	☒
The Participant's performance was: ☒ Satisfactory ☐ Not Satisfactory			

OBSERVER COMMENTS
Excellent, very good at reading and interpreting plans and regulatory requirements